

Land Information Memorandum



LIM Summary

This information has been compiled from Tasman District Council records and is made available in good faith, but its accuracy or completeness is not guaranteed.

Applicant Details

Prepared for	Email
J Truslove	turakina@mail.com

LIM Details

LIM number	Valuation Number	Certificate of Title	Requested on	Issued on
L250307	1961025908	13B/631	01/04/2025	08/04/2025

Contents

This Land Information Memorandum contains the following information:

1. **Property Information**
 - Property and owner information, rates, services, and classifications
 - Consents for building and resource management
 - Environmental information.
2. **Maps**
 - Aerial
 - Areas and Zones in the Tasman Resource Management Plan
 - Pipes
 - Bores
 - Fire Ban areas
3. **Additional Information**
 - Brochures and other relevant information
4. **Glossary**
5. **Site Plans**
 - Floor plan
 - Site plan
 - Drainage plan

Notes

- This Land Information Memorandum has prepared for the purposes of Section 44A of the Local Government Act 1987 and contains all the information known to the Tasman District Council to be relevant to the land as described in Subsection (2).
- Information provided is based on a search of council records only, and there may be other information relating to the land, which is not currently recorded in the Councils record system. Every care will be taken to ensure that the information is correct, however, Council cannot guarantee that the information is accurate and does not accept any liability for these records.
- A valuation assessment can consist of multiple land parcels. The information in this LIM covers the entire valuation assessment. If you are only interested in part of the land, you must wait until the subdivision of the land is complete before we can provide information that applies only to the newly subdivided valuation assessment.
- The Council has not undertaken any inspection of the land or any building on it for the purpose of preparing this LIM.
- Council records may not show illegal or unauthorised building works on the property.
- Conditions of any authorised uses of the land are contained in the Council's District and Regional Plans.
- A Development Contribution may be payable in accordance with the DC Policy set out in the Council's Long Term Plan and created under the Local Government Act 2002 in relation to subdivision and new development. You will need to refer to the DC Policy to see what DC's are payable for any particular building development and whether any limitations apply. The DC is required to fund District roads and infrastructural services other than reserves and community facilities.
- A Financial Contribution for Reserves and Community Services may be payable in accordance with the Tasman Resource Management Plan on all building other than first dwelling on a title. You will need to refer to the Tasman Resource Management Plan for full details of the FC's that are payable and whether any limitations or exceptions apply.
- The applicant is solely responsible for ensuring that the land is suitable for a particular use.
- This LIM has been produced at the issued date and is valid only as a statement of Council's information at that date.

1. Property Information

This section of the LIM provides information about the rates and services on the property, including:

- Property and owner information, rates, services, and classifications
- Consents for building and resource management
- Environmental information.

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Property Location

Valuation	Legal Description	Address	Suburb	Area (ha)
1961025908	LOT 8 DP 20038	110 Hill Street	Richmond	0.0679

Rates Information

Rates are charged in four instalments for the period commencing 1 July and ending 30 June each year. Please note that if this property is a contiguous property, its rates will change if sold separately. Also note that this rating information relates to all parcels, i.e., Lot and DP numbers, under this valuation assessment.

Annual Rates	Current Instalment	Balance Owing	Arrears
\$4648.50	\$1162.13	\$0.00	\$0.00

Rates Breakdown

The Annual Rates above are broken down as follows:

Description	Rate	Units	Amount
General Rate	0.2043c/\$CV	940,000	\$1,920.42
Uniform Annual General Charge	\$394.00/propert	1	\$394.00
Wastewater - 1st Pan	\$766.93/pan	1	\$766.93
WaimeaComDam-Env&ComBen-Distri	\$107.09/propert	1	\$107.09
WaimeaComDam-Enviro&ComBen-ZOB	0.0097c/\$CV	940,000	\$91.18
Refuse/Recycling Rate	\$152.54/propert	1	\$152.54
Shared Facilities Rate	\$65.86/property	1	\$65.86
Mapua Rehabilitation Rate	\$4.53/property	1	\$4.53
Museums Facilities Rate	\$79.35/property	1	\$79.35
District Facilities Rate	\$139.34/propert	1	\$139.34
Urban Wat.Supply- Serv Chge	\$437.99/meter	1	\$437.99
Regional River Works - Area Z	0.0141c/\$LV	350,000	\$49.35
Stormwater UDA	0.0468c/\$CV	940,000	\$439.92

Warm Tasman Rate

Warm Tasman Home Insulation Rate does not apply for this property.

Rating Valuation

Tasman District Council uses a capital value rating system. Please note that this rating information relates to all parcels, i.e., Lot and DP numbers, under this valuation assessment.

Capital Value	Land Value	Improvements	Valuation Date
\$940,000.00	\$350,000.00	\$590,000.00	01/09/2023

New Rating Valuation

This information has been compiled from Tasman District Council records and is made available in good faith, but its accuracy or completeness is not guaranteed.

Rating values are reviewed triennially. If the valuation of this property is going to change in the next rating year, it will show below as the New Capital Value. Please note that this rating information relates to all parcels, i.e., Lot and DP numbers, under this valuation assessment.

New Capital Value	New Land Value	New Improvements Value	New Valuation Date
\$940,000.00	\$350,000.00	\$590,000.00	01/09/2023

Water Meter Information

Reticulated water: Water usage is charged in addition to rates payable. You should check that the vendor has the water meter read at possession time by requesting a special meter reading.

Water ID	Meter Reader Note	Meter Id	Read Date	Year to date	Last year units
W44836		17MC223684	11/10/2024	19	58

Services

This property is serviced under the following water, sewerage, and stormwater schemes.

Scheme or Supply	Service Provided
Stormwater UDA	Stormwater
Tasman Waste Water	Wastewater
Urban Water Supply	Water Supply

Wheelie Bins

This property has had the following wheelie bin(s) delivered.

Bin Size	Serial Number	Delivered on	Delivered to
Single 240	2416901	08/06/2015	110 Hill Street, Richmond

Services Notes

This property has the following Services notes on file. The Health Drinking Water Amendment Act (Section 69ZH of the Health Act 1956) requires councils to provide information relating to whether the land is supplied with drinking water and, if so, if the supplier is the owner of the land or a networked drinking water supplier. Note: Tasman District Council may not be aware of other drinking water systems connected to properties. There may also be private drinking water supply systems such as rainwater tanks or private bore/wells. Prospective purchasers are advised to clarify the drinking water supply and water quality with the landowner.

Notes

The property is connected to sewer, stormwater and water. Council have no other reticulated services available and no public drains cross the property. Additional stormwater discharge to TDC reticulation will be required to be detained as per the Nelson Tasman Land Development Manual (LDM) 2020, Chapter 5.

Protected Trees

No protected trees have been found for this property.

Heritage Buildings

There are no heritage buildings on this property.

Property Information

This information has been compiled from Tasman District Council records and is made available in good faith, but its accuracy or completeness is not guaranteed.

Planning Zones

The following Planning Zones pertain to this property. Please refer to the [Tasman Resource Management Plan](#) or contact a Duty Planner for detailed information about what activities can take place in a zone.

Zone	Zone Description
Residential	The Residential Zone primarily provides for residential dwellings. Small-scale home businesses, community activities and facilities may also be appropriate where they are compatible with the residential environment

Consents

This information has been compiled from Tasman District Council records and is made available in good faith, but its accuracy or completeness is not guaranteed.

Building Consents

Please note that if a Code Compliance Certificate has not been issued, then the work has not been certified by the Council as complying with the Building Code.

Application Date	BC Number	Proposal	Status	CCC Issue Date
05/05/2015	150434	Jayline ss200 free standing c/a free standing wood burner	Code Compliance Certificate Issued	15/06/2015
20/10/2010	101254	Construct studio with WC alongside existing garage	Code Compliance Certificate Issued	09/03/2015
23/03/2001	010364	To build house	Code Compliance Certificate Issued	03/03/2008

Compliance Schedule

No Compliance Schedule records are available for this property.

Building Permits

No historical building permits have been found for this property.

Building Notes

This property has the following LIM building notes on file.

Notes

Property files include Flooding assessment 23/04/2013.

Swimming Pools

No Swimming Pool records have been found for this property.

Resource Consents

The following Resource Consents are noted against the property. Consents for water, discharges or coastal permits must be transferred to the person undertaking the activity. A fee will apply.

Application Date	RC Number	Proposal	Status	Decision	Decision Date
24/11/2010	100825	Proposed additions increasing coverage to over 33%	Consent Effective	Granted under Delegated Authority	13/12/2010

Planning Permits

No historical planning permits have been found for this property.

Planning Notes

Consents

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TASMAN RESOURCE MANAGEMENT PLAN (TRMP) CHANGES: From time to time, changes are proposed to the planning provisions in the TRMP. Any such changes are publicly notified so that people can make submissions. Plan Changes may propose to alter zonings, policies or rules, and may affect this property or sites in the surrounding area.

Council-initiated Plan Changes can have some effect from the first day of notification as 'proposed changes'. From time to time Council receives a request for a Private Plan Change. These are processed by Council and have no effect until operative.

A list of all the current Plan Changes can be viewed on the Tasman District Council policy pages at www.tasman.govt.nz/link/trmp.

Notes

Tasman Resource Management Plan planning maps identify the property is within the Residential Zone and Land Disturbance Area 1. Further information on this Zone and Area can be found in the Section 2 Maps; Section 4 Glossary and/or on the Tasman Resource Management Plan pages on the Tasman District Council website at www.tasman.govt.nz/link/trmp.

Tasman Resource Management Plan maps identify the property as having frontage to Designation Area D219, designated for road widening purposes.

A Consent Notice is attached to the title for this property. A copy is enclosed for your information.

Compliance Notes

These notes include information relevant to compliance with the consents and permits noted above.

Notes

This property is located within the Richmond Air Shed and is subject to rules controlling the use of domestic wood burners. The rules can be found under section 36.3.7.5 of the Tasman Resource Management Plan. Any small-scale solid fuel-burning appliance which is any appliance having a net heat output of up to 40 kilowatts that uses solid fuels, must either meet the following requirements. The appliance emits no more than 1.5 grams of total suspended particulate per kilogram of fuel burned, when tested in accordance with standards AS/NZS 4012:1999 and AS/NZS 4013:1999 or AS/NZS 4014.2:1999 as appropriate; And has a thermal efficiency for space heating of at least 65 per cent as described in AS/NZS 4013:1999 the appliance is used primarily for cooking purposes; OR is any kiln or forge; OR cease being used from the date of the transfer of ownership of the property.

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Environmental Health and Licences

No Environmental Health or Licence information has been found for this property.

Licencing Notes

No notes regarding licences have been recorded against this property.

Air Shed

This property sits within a controlled Air Shed.

Air Shed	Air Shed Regulations
Richmond Air Shed	After a house in Richmond changes ownership, an existing non-compliant wood burner cannot be used. It may be replaced with either a clean heat system or an approved clean air wood burner. New houses, or existing houses without an existing wood burner or open fire, can only install clean heat systems - no wood burners at all.

Hazardous Activities and Industries List (HAIL)

No verified HAIL site has been found for this property. However, if the site or any adjacent site has been used for industrial, horticultural or agricultural purposes, we suggest you make further enquiries.

Potential Lead Paint Contamination of Dwellings, Buildings & Land

Any specific information in relation to contamination will be contained in the HAIL part of the LIM, otherwise the Council has no specific information in relation to this property.

Lead is a highly toxic substance that was a key ingredient in household paint. Any building or dwelling built before or during the 1960's is likely to have used lead-based paint at some time. Soil surrounding these buildings has potential to be contaminated by heavy metals contained in the paint. Landowners are responsible for ensuring the safe management of lead paint removal for protecting human health and the environment.

Wetlands

Council holds no records of a wetland being on this property. However please note that the Resource Management (National Environmental Standards for Freshwater) Regulations 2020 creates conditions relating to works carried out around natural inland wetlands regardless of whether they have been mapped by Council or not.

Pest Inspection History

The Tasman-Nelson region has a Regional Pest Management Strategy for the control of declared pest plants, animals and organisms. The responsibility for the control of pests lies with the land occupier or owner. No pests have been recorded on this property.

Significant Native Habitats

Council has been compiling biodiversity reports (also called Ecological Property Reports or reports on Significant Native Habitats) for the past eight years and where these exist they are available. However, no report has been lodged on this property.

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Hazard Notes

These notes include hazard information relevant to this LIM.

SEA LEVEL RISE AND COASTAL HAZARDS MAPPING

We have developed a coastal hazards map viewer which maps the extent of low-lying coastal land in Tasman and Golden Bays that may be affected by sea level rise. The viewer shows a range of sea level rise scenarios, including the effects of higher tides caused by storms. Areas of historical coastal erosion (sediment loss) and accretion (sediment gain), as well as the presence of coastal structures such as stopbanks, walls and rock revetments, have also been mapped.

You can view the coastal hazards map viewer on our website at tasman.govt.nz/link/coastal-management. On our website you will also find more information about the project.

Notes

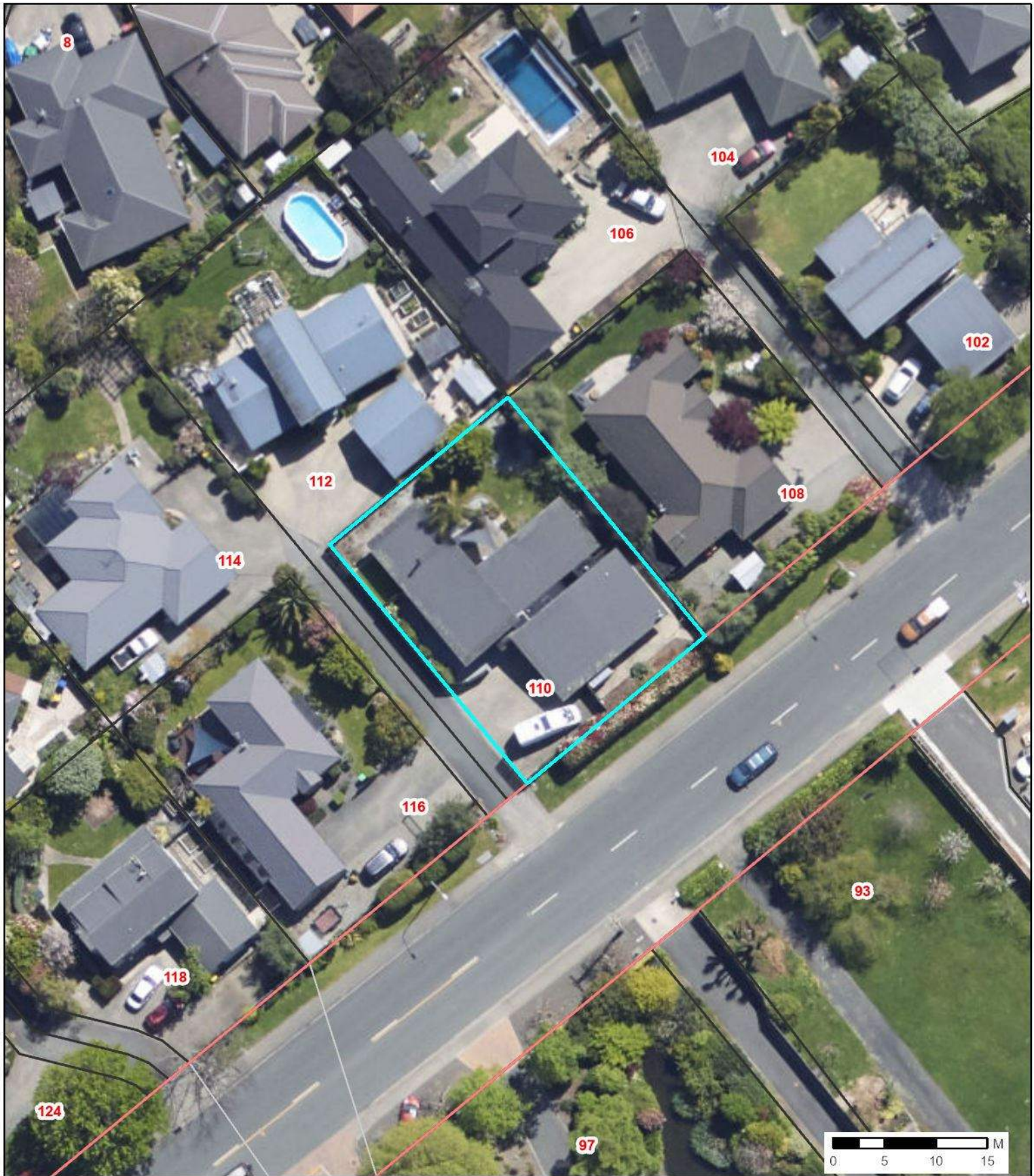
In April 2013 Richmond was subject to a very severe and intense rain storm where close to 100mm fell in a one hour period. Such one hour rainfalls are extreme and infrequent. The rainfall intensity was such that much of the urban stormwater reticulation was unable to cope and surface flows, ponding and flooding occurred at various locations throughout Richmond including at this property. The April 2013 rainstorm stormwater runoff impacted this property, entering parts of the house damaging some of the wall board and carpet. The Consent Notice for this property requires that building foundations are subject to specific investigation and design by a suitably qualified and experienced Chartered Professional Engineer. Council has no records of this property being affected by specific earthquake hazards.



2. Maps



Several maps are included in your LIM:

- An aerial overview
- A map of the water and sewer pipes around the property
- A map showing any bores on the property
- A map of the fire ban areas that may apply
- Maps of the Zones and Areas defined in the Tasman Resource Management Plan (TRMP) and their associated legends.

Please note that other rules defined in the TRMP may also apply to this property. The TRMP is available online at www.tasman.govt.nz.



 State Highway Roads
 Road Boundaries

 Valuation Boundaries
 Parcel



Aerial Photo Map

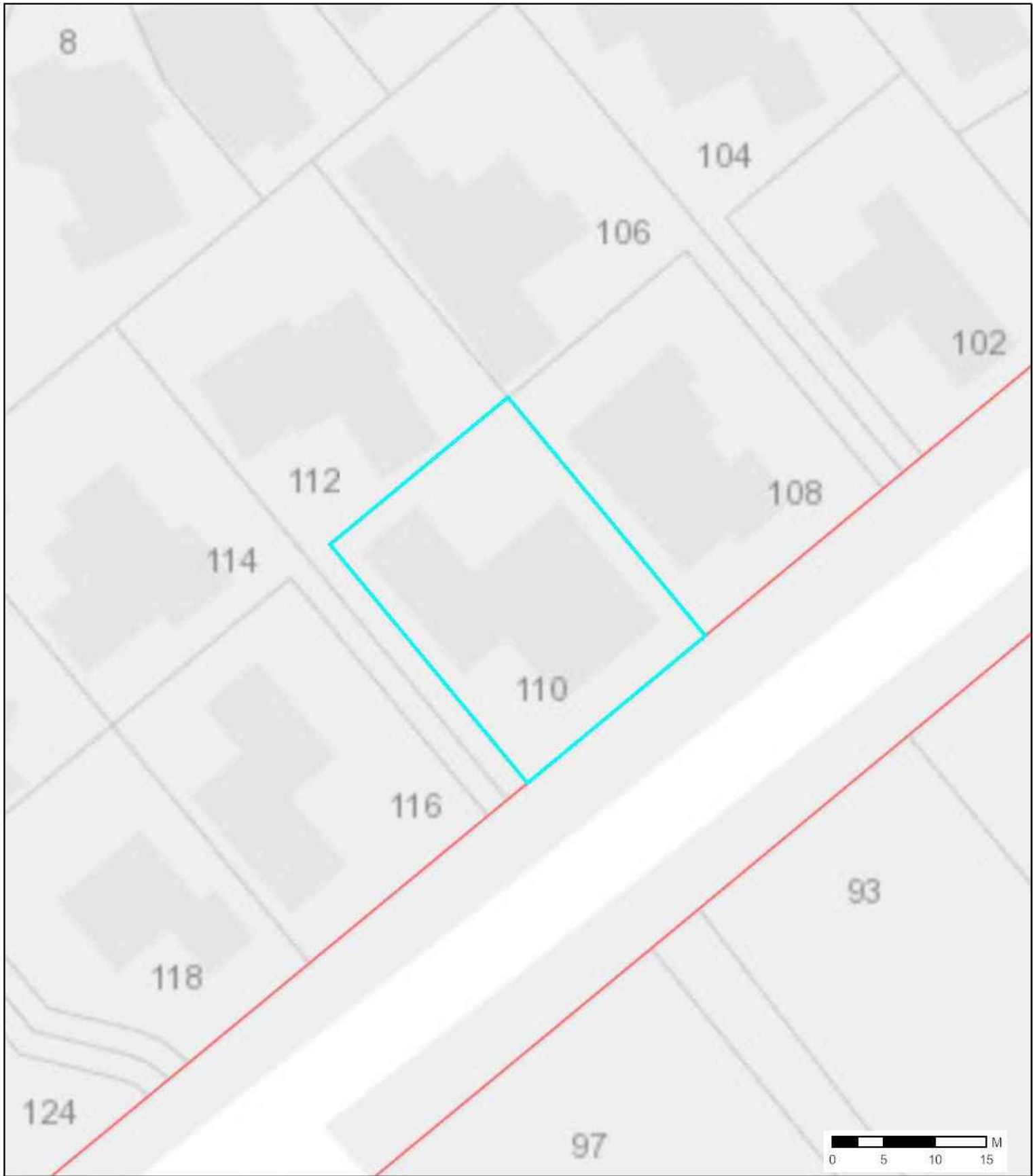
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Scale: 1:500
 Tuesday, 8 April 2025

Original Sheet Size 210x297mm



- Bores
- Road Boundaries
- Parcel
- State Highway Roads
- Valuation Boundaries



Bores Map

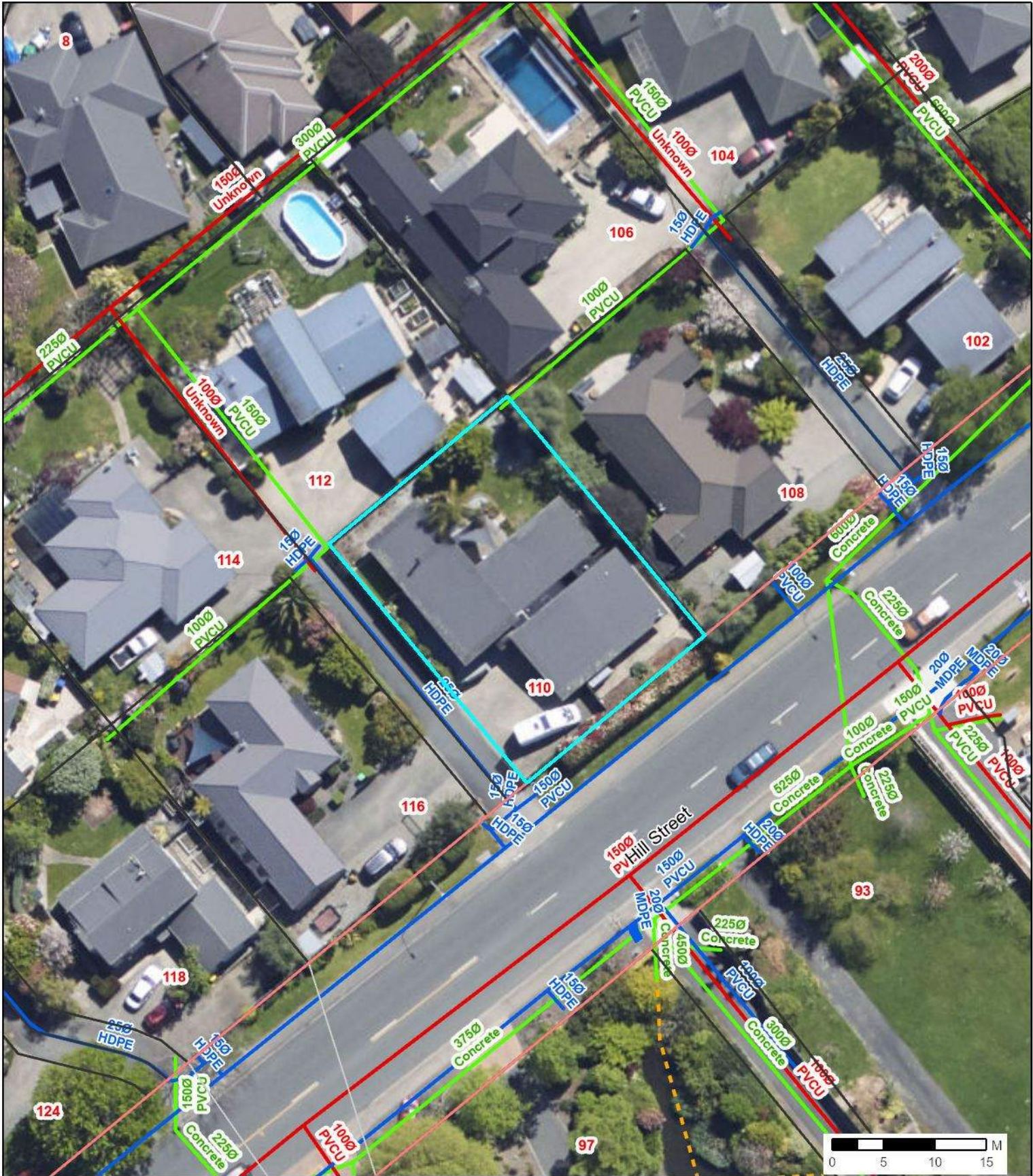
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Water Pipes	Stormwater Drains	Valuation Boundaries
Wastewater Pipes	State Highway Roads	Parcel
Stormwater Pipes	Road Boundaries	

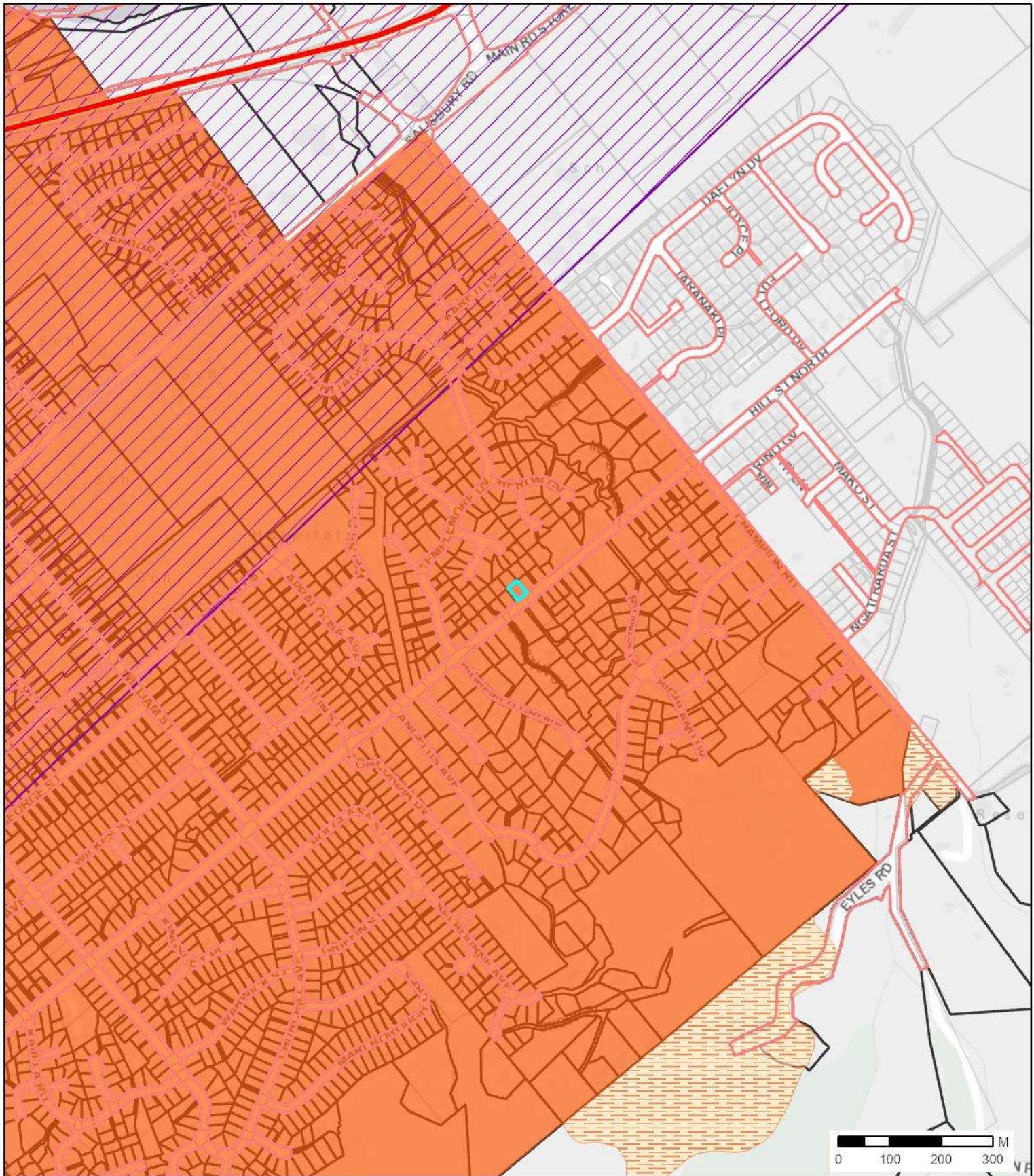
tasman
 district council
 Te Kaunihera o
te tai o Aorere

Pipe Network Map

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|-----------------------------|------------------------------|----------------------|--------|
| Obstacle Limitation Surface | Deferred Fire Sensitive Area | Fire Sensitive Areas | Parcel |
| Deferred Fire Ban Area | Fire Ban Areas | Valuation Boundaries | |



Fire Ban Areas Map

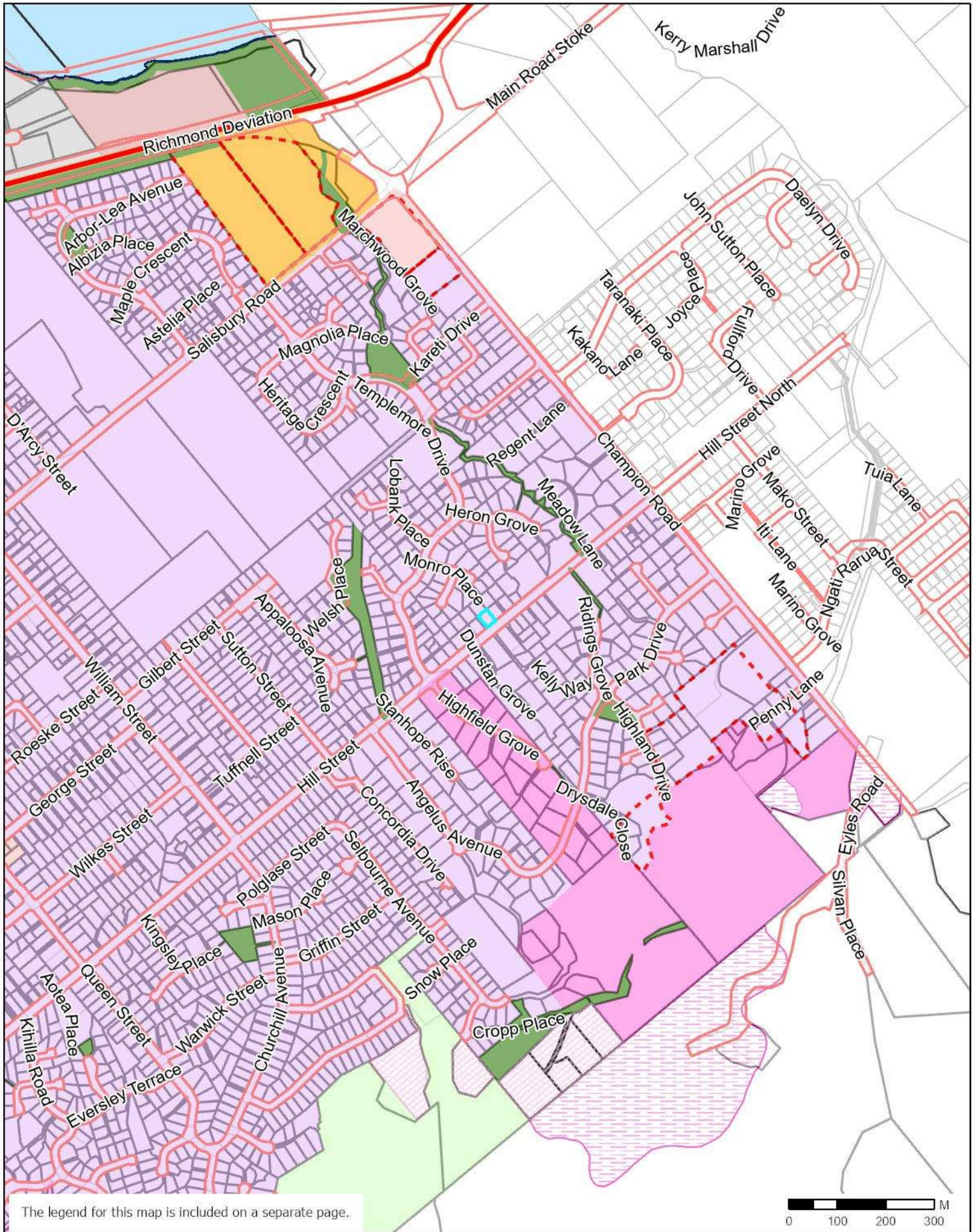
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The legend for this map is included on a separate page.



TRMP Zones Map

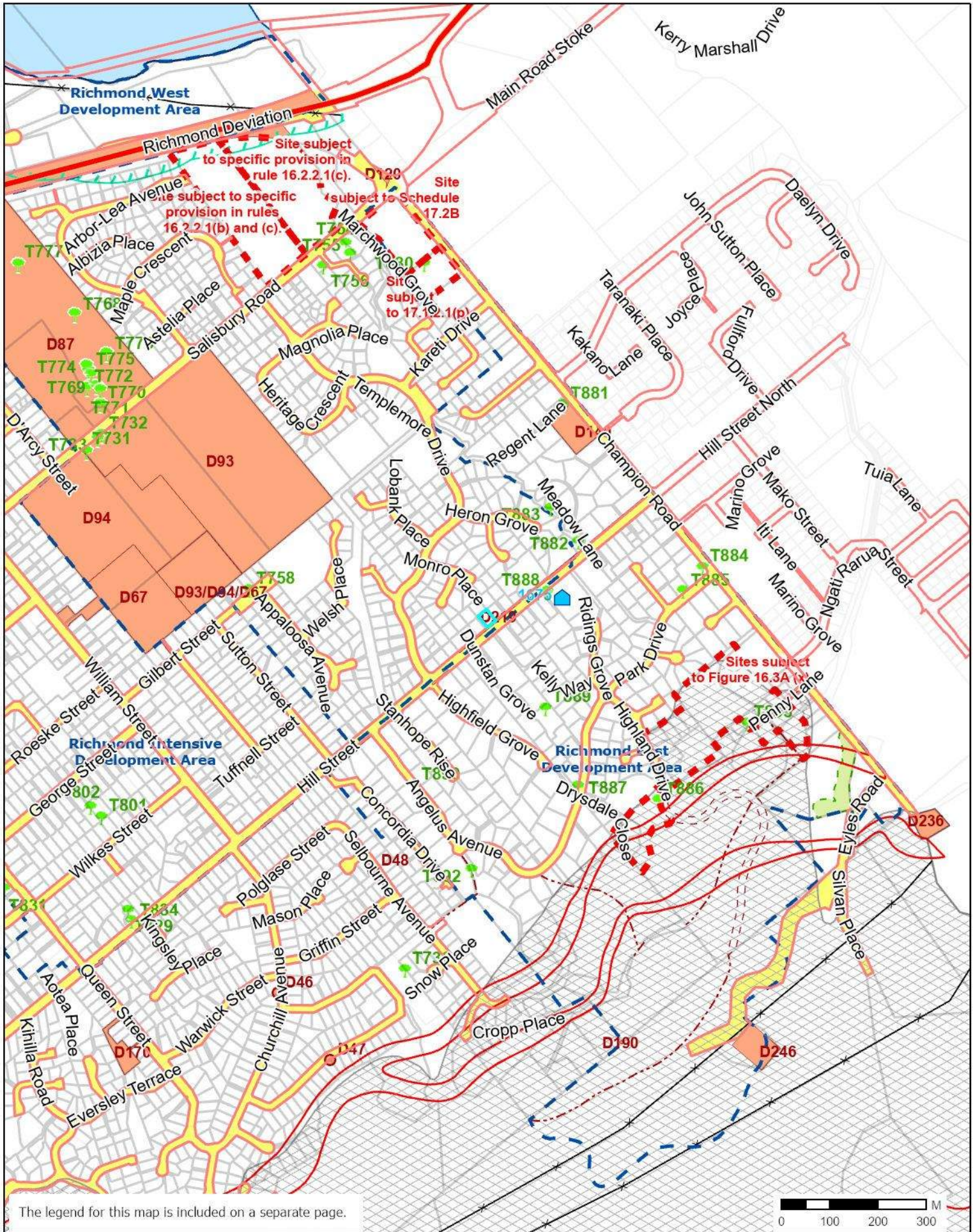
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The legend for this map is included on a separate page.



TRMP Areas Map

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














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ZONE MAPS

	Rural 1		Compact Density Residential Area		Rural 2 deferred Residential
	Rural 1 Closed		Rural Residential		Rural 2 deferred Rural Residential
	Rural 1 Coastal		Rural Residential Serviced		Rural 2 deferred Rural Residential Serviced
	Rural 2		Rural Residential Closed		Rural 2 deferred Mixed Business
	Rural 3		Open Space		Rural 2 deferred Light Industrial
	Central Business		Recreation		Rural Residential deferred Residential
	Commercial		Conservation		Rural Residential Serviced deferred Residential
	Mixed Business		Tourist Services		Recreation deferred Mixed Business
	Light Industrial		Papakainga		Recreation deferred Residential
	Heavy Industrial		Rural 1 deferred Residential		Tourist Services deferred Residential
	Rural Industrial		Rural 1 deferred Tourist Services		Rural 1 deferred Papakainga
	Residential		Rural 1 deferred Mixed Business		Residential deferred Light Industrial
	Residential Closed		Rural 1 deferred Light Industrial		Development Area
	Residential Coastal		Rural 1 deferred Heavy Industrial		Notation
			Rural 1 deferred Rural Residential Serviced		Direction of development

AREA MAPS

	Protected Tree		Indicative Vehicle Access/ Crossing Point		Wastewater Management Area
	Heritage Building : NZ Historic Places Trust Register		Fault Rupture Risk Area		Services Contribution Area
	Heritage Building : Tasman District Council Register		Slope Instability Risk Area		Coastal Environment Area
	View Point		Ridgeline		Coastal Risk Area
	Designation Site		Working Quarry Site		Mooring Area
	Designation Area		Quarry Area		Chemical Hazard Area
	Indicative Development Area		Aquifer Protection Area		Landscape Priority Area
	Indicative Reserve		Significant Natural Area		Electricity Transmission Line
	Indicative Stormwater Retention Area		Recharge Protection Area		Shopping Frontage
	Indicative Road		Land Disturbance Area 2		Retail Frontage
	Indicative Walkway		Residential Activity Restriction Area		Service Lane
	Indicative Waterway		Special Domestic Wastewater Disposal Area		Road Area
					Car Park

3. Additional Information

This section of the LIM includes general information of interest to potential buyers in the area.

- **Civil Defence/Emergency Management**

The Council jointly provides civil defence arrangements with Nelson City Council. Details of alerts and other information can be found on the website at

www.nelsontasmancivildefence.co.nz.

4. Glossary

Term	Explanation/Note
Coastal Environment Area	The Coastal Environment Area is a Tasman Resource Management Plan overlay. Its purpose is to guide the management of Tasman District's coastline. The seaward boundary of the Coastal Environment Area is mean high water springs and the overlay extends approximately 200 metres inland from this boundary. Any building work within the Coastal Environment Area may require resource consent. Rules relating to this area can be found in Section 18.11 of the Tasman Resource Management Plan.
Coastal Risk Area	The Coastal Risk Area is a Tasman Resource Management Plan overlay that extends over parts of Ruby Bay and recognises the extent of coastal erosion and inundation in this area. Any building work within the Coastal Risk Area will need to comply with Tasman Resource Management Plan Rule 18.9.2.1 or a resource consent will be required.
Consent Notice	A consent notice is a form of covenant between the Council and a landowner. A consent notice will be registered on the title alerting current and future property owners of certain obligations that must be complied with on a continuing basis by the property owner. The process to change or cancel a consent notice requires a resource consent application to Council.
Deferred Fire Ban Area	The land is subject to deferred Fire Ban Area provisions which will take effect once the deferrals applying to the land use zones are uplifted. The fire ban provisions mean that outdoor burning will be prohibited except in particular circumstances relating to lot size. Until then the land is subject to Fire Sensitive provisions which limit outdoor burning during winter months.
Electricity Transmission Lines and Towers	Any property identified as having high-voltage electricity lines over or adjacent to the property or there are transmission towers/pylons on or adjacent to the property, the applicant/landowner must ensure that the proposed building or structure complies with the clearances prescribed in the New Zealand Electrical Code of Practice for Electrical Safety Distances (NZECP34:2001).
Fault Rupture Risk Area	This area encompasses active fault systems in the Tasman District. Rules in Section 18.13 apply to activities in this area.
Fire Ban Area	Rules 36.3.2.3, 36.3.3.3 and 36.3.7.3 apply to this property. The Rules are located in the Discharge Section of the Tasman Resource Management Plan. The rules mean outdoor fires (to burn waste paper and vegetation) are prohibited on properties less than 5,000m ² . Where properties are larger than 5,000m ² , resource consent is required to have an outdoor fire (the rules do not apply to barbecues or braziers).

Term	Explanation/Note
Fire Sensitive Area	<p>Rules 36.3.2.3, 36.3.3.3 and 36.3.5.3 apply to this property. The Rules are located in the Discharge Section of the Tasman Resource Management Plan. The rules mean that outdoor fires (to burn waste paper and vegetation) are not permitted during the months of June – August (inclusive) unless where there is disease on a horticultural crop (the rules do not apply to barbecues or braziers). Resource consent to burn other horticultural vegetation can also be sought for fires during June – August.</p>
Land Disturbance Area 1	<p>This covers most of the District and is characterised by generally stable landscapes. Many land disturbance activities are permitted in this area subject to performance standards to maintain appropriate soil and surface water quality values. Consents may be required for some activities on the naturally higher risk terrains within the area such as steep hill country and the karst terrain.</p> <p>The full set of regulatory requirements are found in Section 18.5 “Land Disturbance Areas” of the Tasman Resource Management Plan (TRMP).</p>
Land Disturbance Area 2	<p>This covers the terrain known as Separation Point Granite, where land disturbance activities are known to pose special risks from erosion which may have detrimental effect both on site and off site. Few land disturbance activities are permitted in this area and generally consent is required for activities where mechanical land clearance is carried out on land exceeding 15 degrees and where track and road formation produce cuts greater than 0.5 metres.</p> <p>The full set of regulatory requirements are found in Section 18.5 “Land Disturbance Areas” of the Tasman Resource Management Plan (TRMP).</p>
Landscape Priority Area	<p>The Landscape Priority Area is a Tasman Resource Management Plan overlay that covers parts of St Arnaud and the Takaka Hill. Its purpose is to guide development in a way that protects the unique landscape and natural values of these areas. Any building work within the Landscape Priority Area may require resource consent. Rules relating to this area can be found in Section 18.2 of the Tasman Resource Management Plan.</p>
Obstacle Limitation Surface	<p>The Rule 36.3.3.1(g) relates to the safety of aircraft approaching Nelson Airport. Within the limitation surface area the efflux velocity of any discharge to air does not exceed 4.3 metres per second at a height greater than 60 metres.</p>
Recharge Protection Area	<p>This is an area where establishment of new plantation forest is regulated. Up to 20% new forest can be planted as a permitted activity in these areas - provided council is notified first. Otherwise resource consent is required. The objective for these provisions is to protect surface water yields and groundwater recharge from being reduced because of the rainwater interception effects of tall forest vegetation.</p>

Term	Explanation/Note
Services Contribution Area	Council has made an interim decision for properties in the Services Contribution Area that Council will not provide a reticulated wastewater system. All discharge of domestic wastewater will require a Resource Consent.
Slope Instability Risk Area	This area has particular rules relating to information requirements in relation to ground stability. Rules in Section 18.12 apply to activities in this Area.
Special Domestic Wastewater Disposal Area	<p>Any new discharge of wastewater to land must meet the conditions of Rule 36.1.2.5 of the Tasman Resource Management Plan (including the installation of a treatment system that will treat the wastewater to the standards specified in the Rule).</p> <p>Any developments that increase the potential number of inhabitants, such as additional bedrooms, additional rooms that could be used as bedrooms, second dwellings or sleep-outs will require an upgrade of the wastewater treatment and disposal system so that it meets the conditions of Rule 36.1.2.5 of the Tasman Resource Management Plan (this may include the installation of a system that will treat the wastewater to the standards specified in the Rule), or alternatively a resource consent must be obtained.</p>
Wastewater Management Area	<p>Any new discharge of wastewater to land will require resource consent. The wastewater treatment and disposal system should also meet the conditions of Rule 36.1.3.2 or Rule 36.1.4.2 of the Tasman Resource Management Plan (including the installation of a treatment system that will treat the wastewater to the standards specified in the Rule).</p> <p>Any developments that increase the potential number of inhabitants such as additional bedrooms, additional rooms that could be used as bedrooms, second dwellings or sleep-outs will require resource consent and will require an upgrade of the wastewater treatment and disposal system so that it meets the conditions of Rule 36.1.3.2 or Rule 36.1.4.2 of the Tasman Resource Management plan (including the installation of a treatment system that will treat the wastewater to the standards specified in the Rule).</p>

5. Site Plans & Consent Information

This section of the document contains plans that are on file regarding the site. This may include:

- Resource Consent information
- Floor plans for any buildings on the site
- Drainage plans
- Overall site plans.

Council may hold additional plan information, such as technical specifications for items used in the construction of any buildings. If you would like a full copy of all the documents on file, please contact Customer Services. Note that this can be quite extensive in some cases, and a fee applies.

13 December 2010

RM100825
Writer's Direct Dial No. (03) 543 7241
Writer's E-mail: michael.croxford@tasman.govt.nz

L & P Fletcher
110 Hill Street
Richmond 7020

FILE → 1961025908

Dear Sir/Madam

**DECISION ON NON-NOTIFIED RESOURCE CONSENT APPLICATION NO. RM100825 –
L & P FLETCHER**

Pursuant to Section 114 of the Resource Management Act 1991 ("the Act"), please find enclosed a copy of the Council's decision on your application for resource consent referred to above.

Section 357A of the Act provides you with the right to lodge an objection with the Council in respect of this decision and/or any associated conditions. Any such objection must be made in writing setting out the reasons for the objection and must be lodged with the Council, together with a fixed fee of \$175.00 (GST inclusive), within 15 working days of receiving this letter.

At this stage the Council has not calculated the final costs of processing your application. Should the final costs exceed the deposit already paid, then as previously advised, you will be invoiced separately for these costs. Should the final costs be less than the deposit already paid, then you will receive a refund. Where the costs are equal to the deposit already paid, no further action is required. You will receive a letter shortly regarding the final costs of processing your application.

You may commence your activity immediately unless you lodge an objection to this decision. However, it is important that you check the conditions of your consent carefully as some of them may require you to provide information and/or plans to the Council before you may commence your activity. In addition, in some cases you may also require other permits or building consents for your activity and these must be obtained before you can commence your activity.

Please note that under Section 125 of the Act, your consent will lapse in 5 years unless you have given effect to it before then.

Please feel free to contact me if you have any questions regarding any aspect of your consent or its conditions. My contact details are listed at the top of this letter.

Yours faithfully



Michael Croxford
Consent Planner Natural Resources

RESOURCE CONSENT DECISION

Resource consent number: RM100825

Pursuant to Section 104C of the Resource Management Act 1991 ("the Act"), the Tasman District Council ("the Council") hereby grants resource consent to:

Lester MacPherson Fletcher and Patricia Joyce Fletcher

(hereinafter referred to as "the Consent Holder")

Activity authorised by this consent: To extend a dwelling increasing site coverage to over 33%

Location details:

Address of property:	110 Hill Street, Richmond
Legal description:	Lot 8 DP 20038
Certificate of title:	NL13B/631
Valuation number:	1961025908

Pursuant to Section 108 of the Act, this consent is issued subject to the following conditions:

CONDITIONS

General

- 1 The extension to the dwelling shall be in accordance with the application submitted, as shown on the attached plans marked Plan A to E and dated 13 December 2010. Where there is any apparent conflict between the information provided with the application and any condition of this consent, the conditions shall prevail.

Coverage

- 2 The building coverage shall not exceed 34.7 per cent of the net site area as shown on Plan A of this consent dated 13 December 2010.

Advice Note:

For the avoidance of doubt, building coverage includes the exterior cladding of the building but excludes eaves projecting 1 metre or less from any exterior wall.

On-site Stormwater Storage

- 3 A 500 litre water tank shall be installed on site to collect stormwater from the roof of the dwelling. The tank shall be installed as located on Plan D attached dated 13 December 2010 and shall be no higher than the adjoining fence. The tank shall be installed with overflow and capacity retention piping to the satisfaction of Council's Engineering Manager.

Covenant

- 4 A covenant under Section 108 of the Resource Management Act 1991 shall be entered into and registered against the certificate of title within one month of the new addition being occupied or before the date of Council's issuance of the Code of Compliance Certificate for the dwelling, whichever is the earlier. The covenant must state that:
- (a) the existing dwelling shall not be extended or altered to obtain more than one self-contained housekeeping unit on the title;

The covenant shall be entered into pursuant to Section 108 of the Act and shall be registered against the title pursuant to Section 109 of the Act. All costs incurred in preparing and registering the covenant shall be paid for by the property owners.

Advice Note:

This condition has been volunteered by the applicant.

ADVICE NOTES

Council Regulations

- 1 This is not a building consent and the consent holder shall meet the requirements of Council with regard to all Building and Health Bylaws, Regulations and Acts.

Other Tasman Resource Management Plan Provisions

- 2 This resource consent only authorises the activity described above. Any matters or activities not referred to in this consent or covered by the conditions must either: 1) comply with all the criteria of a relevant permitted activity rule in the Tasman Resource Management Plan (TRMP); 2) be allowed by the Resource Management Act; or 3) be authorised by a separate resource consent.

Consent Holder

- 3 This consent is granted to the abovementioned consent holder but Section 134 of the Act states that such land use consents "attach to the land" and accordingly may be enjoyed by any subsequent owners and occupiers of the land. Therefore, any reference to "Consent Holder" in the conditions shall mean the current owners and occupiers of the subject land. Any new owners or occupiers should therefore familiarise themselves with the conditions of this consent as there may be conditions which are required to be complied with on an ongoing basis.

Interests registered on Property Title

- 4 The Consent Holder should note that this resource consent does not override any registered interest on the property title.

REASONS FOR THE DECISION

Background to Proposed Activity

The proposal is to extend an existing dwelling increasing the site coverage to 34.7%. The property is a 679 square metre residentially zoned site with an existing 190.76 square metre house. The proposal is to construct a new studio / workshop at the rear of the garage with a new bathroom servicing the workshop. The application includes the installation of a cleaner's sink within the workshop and the applicant has volunteered a covenant pursuant to Section 108 of the Act stating

that this will not be extended or altered to obtain more than one self-contained housekeeping unit on the title. The existing dwelling and proposed extension comply with all other Residential Zone bulk and location standards except for the permitted 33% net site coverage.

Tasman Resource Management Plan ("TRMP") Zoning, Area, and Rules Affected

According to the TRMP the following apply to the subject property:

Zoning: Residential
Area(s): None

The activity authorised by this resource consent does not comply with Permitted Activity Rule 17.1.3.1(e) (coverage) of the TRMP and is deemed to be a Restricted Discretionary Activity in accordance with Rule 17.1.3.4(a) of the TRMP.

Principal Issues (Actual and Potential Effects on the Environment)

The principal issue(s) associated with the proposed activity involve the actual and potential effects on the environment. For this application these were:

- (a) the extent to which the character of the site will remain dominated by open space and vegetation, rather than buildings. The extent to which the scale, design and appearance of the proposed buildings will be compatible with the locality;
- (b) the ability to mitigate any adverse effects of increased site coverage on stormwater disposal

The Council considers that the adverse effects of the activity on the environment will be no more than minor for the following reasons:

- (a) the overall site coverage is 34.7% and it is considered that the single-storey building proposed will not be out of character with this developing part of Richmond's Residential Zone. The character of the area will still retain its openness and spaciousness. An increase of 1.7% in site coverage is visually inconspicuous from neighbouring properties. Overall, the proposal is an efficient use of space that will generate visual or spaciousness effects that are considered to be no more than minor;
- (b) the increased site coverage has stormwater implications. These implications have been considered by Council's Engineer, who has recommended some form of on-site stormwater retention. The applicant has volunteered the installation of a 500L stormwater detention tank in order to ensure no additional flows beyond that of a permitted activity level coverage are discharged during a rainfall event. It is therefore considered that the on-site stormwater retention component will mitigate potential adverse stormwater effects arising from the increased building coverage.

Relevant Statutory Provisions

In considering this application, the Council has had regard to the matters outlined in Section 104 of the Act. In particular, the Council has had regard to the relevant provisions of the following planning documents:

- (a) the Tasman Regional Policy Statement (TRPS);
- (b) the Tasman Resource Management Plan (TRMP);

Most of the objectives and policies contained within the TRPS are mirrored in the TRMP. The activity is considered to be consistent with the relevant objectives and policies contained in Chapters 5 (Site Amenity) and 6 (Urban Environment Effects) of the TRMP.

Part II Matters

The Council has taken into account the relevant principles outlined in Sections 6, 7 and 8 of the Act and it is considered that granting this resource consent achieves the purpose of the Act as presented in Section 5.

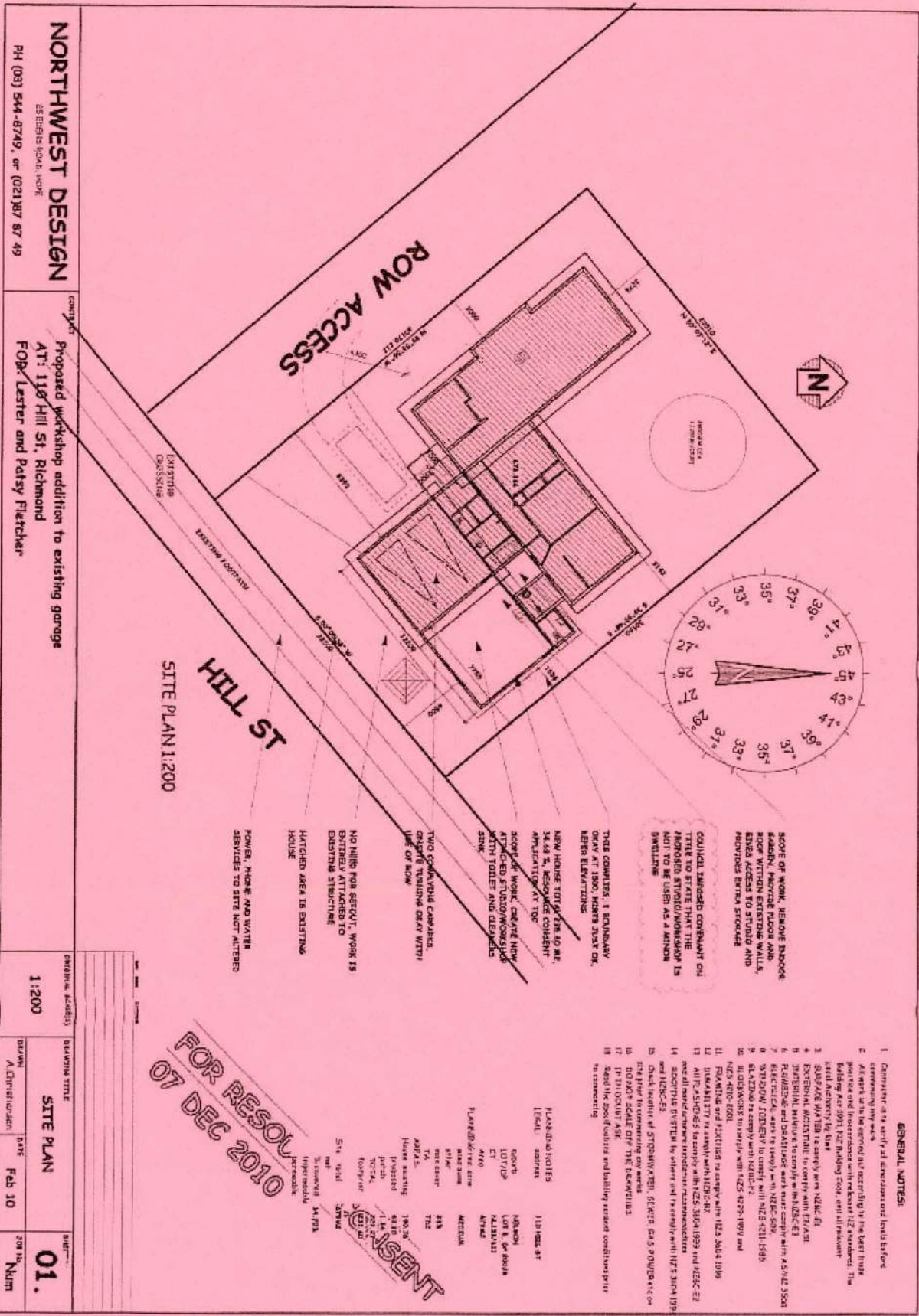
Notification and Affected Parties

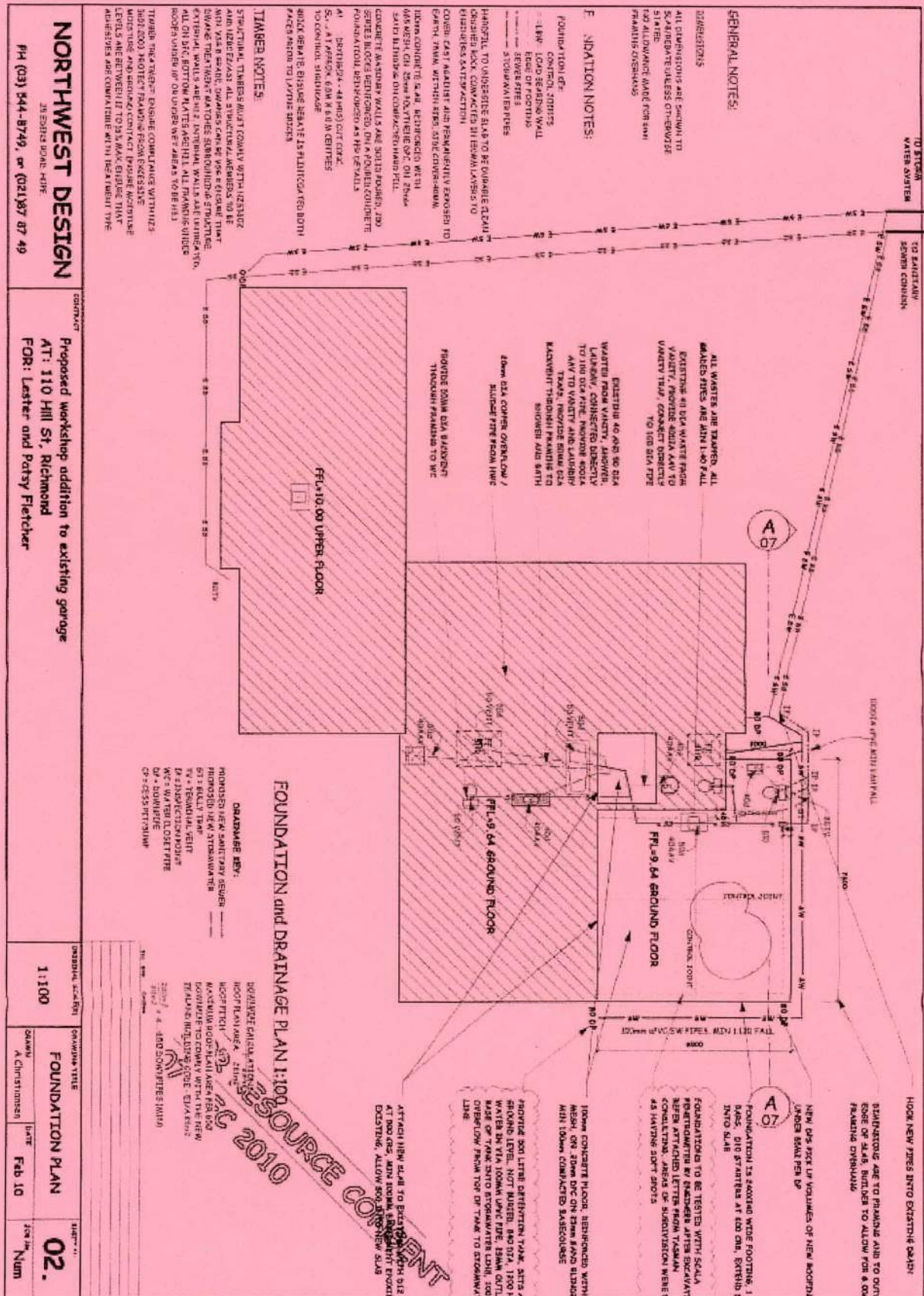
The adverse environmental effects of the activity are considered to be no more than minor. The Council's Resource Consents Manager has, under the authority delegated to him, decided pursuant to Section 95 of the Act that the application did not require public or limited notification.

This consent is granted on 13 December 2010 under delegated authority from the Tasman District Council by:



Michael Croxford
Consent Planner, Natural Resources





NORTHWEST DESIGN
 25 EDINA ROAD, RICHMOND
 PH (03) 944-8749, or (021) 97 07 49

Proposed workshop addition to existing garage
 AT: 110 Hill St, Richmond
 FOR: Lester and Patsy Fletcher

DATE	BY	REVISION
Feb 10	A. Christensen	FOUNDATION PLAN
02.		

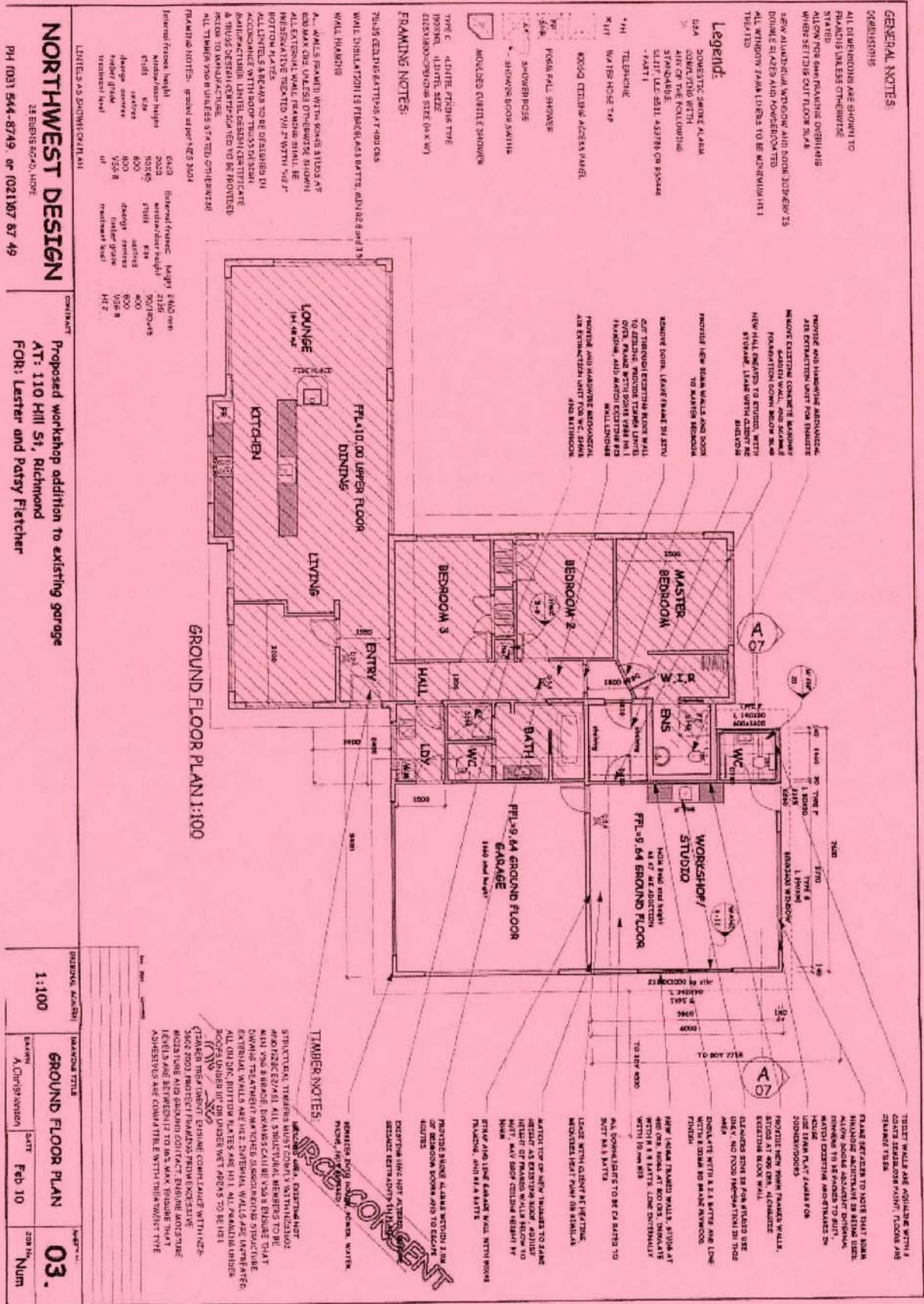
RESOURCE COMMENT
 DATE: 13 DEC 2010
 BY: NW DESIGN
 PROJECT: 100825
 DRAWING: FOUNDATION AND DRAINAGE PLAN 1:1000

FOUNDATION AND DRAINAGE PLAN 1:1000
 FFL-10.00 UPPER FLOOR
 FFL-9.54 GROUND FLOOR
 FFL-9.54 GROUND FLOOR
 FFL-9.54 GROUND FLOOR

GENERAL NOTES:
 1. ALL WASTES ARE TRAPPED. ALL TRAP PIPES ARE 100MM DIA. ALL TRAP PIPES ARE 100MM DIA.
 2. ALL WASTES ARE TRAPPED. ALL TRAP PIPES ARE 100MM DIA. ALL TRAP PIPES ARE 100MM DIA.
 3. ALL WASTES ARE TRAPPED. ALL TRAP PIPES ARE 100MM DIA. ALL TRAP PIPES ARE 100MM DIA.

FOUNDATION AND DRAINAGE PLAN 1:1000
 FFL-10.00 UPPER FLOOR
 FFL-9.54 GROUND FLOOR
 FFL-9.54 GROUND FLOOR
 FFL-9.54 GROUND FLOOR

RM100825 Plan C: Ground Floor Plan
Dated 13 December 2010



NORTHWEST DESIGN
 28 BERRY ROAD, HURST
 PH (03) 544-8749 or (02) 907 87 49

Proposed workshop addition to existing garage
 AT: 110 Hill St, Richmond
 FOR: Lester and Patsy Fletcher

DATE	BY	REVISION
Feb 10	A. Christopherson	GROUND FLOOR PLAN

03.
 208 No. Num

Figure A1.10: Tasman District Council

ID	Location of Site	Map ⁵ No.	Site Name/ Function	Purpose of Designation	Legal Description/ Valuation No.	Area (ha)	Duration of Designation
Refuse Disposal							
Existing							
D160	Beach Road, Richmond	AM 125	Waste management facility	Waste management facility	Pt Lot 1 DP 7528 Lot 1 DP 16384 Lot 2 DP 16384	4.25	*
D161	Robinsons Road, Mariri	AM 52	Tip	Tip	Lot 2 DP 5152	3.64	*
D162	State Highway 63, St Arnaud	AM 35 SM 150	"	"	Pt Sections 4, 92 & 102, Sq 46, Section 10, Block XIII, Motupiko Survey District, SO 10406		*
D163	Eves Valley	AM 56	Sanitary landfill refuse disposal	Sanitary landfill refuse disposal	Lot 1 DP 13422. 1939021801	42.04	*
D164	Murchison/ Matakitaiki West Bank Road	AM 92	Refuse station/Refuse transfer facility	"	Lot 1 DP 514507, Lot 2 DP 376056	2.55	*
D166	Collingwood West	AM 72	Refuse tip	Refuse tip	Section 393 Town of Collingwood, SO1012	1.173	*
Water Supply and Sewerage Works							
Existing							
D170	87 Queen St, Richmond	AM 129	Queen Street reservoir and pump station	Public water supply purposes	Lot 1 DP 8002	0.2680	*
D171	11 Valhalla Lane, Richmond	AM 129	Valhalla Lane high level reservoir	"	Lot 1 DP 8046 & Lot 27 DP 15725	0.1283	*
D172	132 Edward St, Wakefield	AM 91	Wakefield reservoir	"	Lot 1 DP 8022	0.0837	*
D173	92 Fairfax St, Murchison	AM 92	Murchison pump station	"	Part of Lot 2 DP 7755 and Section 57 Murchison Town	0.0225	*
D174	Chalgrave St, Murchison	AM 92	Murchison reservoir	"	Lot 1 DP 9463	0.1326	*
D175	Hamama Road	AM 13	Hamama water supply intake	"	Section 3 Block VI Takaka Survey District	35.8147	*
D176	121 Beach Rd, Richmond	AM 125	Beach Road sewer, pump station & tanks	Sewage disposal purposes	Lot 1 DP 20180	0.2400	*
D177	Tapawera-Glenhope Road	AM 89	Tapawera sewage treatment pond	"	SO 12118	2.2027	*
D178	State Highway 6, Murchison	AM 92	Murchison sewage treatment pond	"	Sec 1 SO 459034, Sec 1 SO 452166 and parts of Lots 2 & 4 DP 380362, Secs 2,4 & 5 SO 459034	4.700	*
D179	Thorp St, Motueka	AM 52 SM 115	Motueka sewage treatment pond	"	Section 29 Motueka Rural Block IV Motueka Survey District	60.7028	*
D180	Haldane Rd, Takaka	AM 50	Takaka sewage treatment pond	"	Pt Sec 31 Block V (4 parcels). Refer SO 8906, SO 9422, and Part of Pt Sec 17, Takaka District, Block VI, Waitapu SD and riverbed (2 parcels)	7.9677	*
					Section 1 SO 438846	1.8	*
D181	Collingwood/ Bainham Rd	AM 72	Collingwood sewage treatment pond	"	Section 1 SO 14548 and Part of Section 393 Town of Collingwood	1.7000	*
D184	Pomona Rd, Ruby Bay	AM 54	Pomona Road reservoir and pump station	Public water supply purposes	Lot 3 DP 15755	0.2325	*
D187	Lord Rutherford Rd South, Brightwater	AM 90	Brightwater reservoir	"	Lot 1 DP 9704 Lot 9 DP 452456	0.2131	*
D189	45 Vahalla Drive, Richmond	AM 129	Valhalla Drive Extra High Level Reservoir	"	Lot 27 DP 15725 Lot 1 DP 8046	0.0995	*
New							
D185	Brabant Dr, Ruby Bay	AM 86	Brabant Drive reservoir and pump station	Public water supply purposes	Lot 26 DP 15280	0.0110	*
D186	Lightband Rd, Brightwater	AM 90	Brightwater pump station	"	Section 244 Waimea East District SO 12172	0.1303	*
D188	Pigeon Valley Rd, Wakefield	AM 91	Wakefield pump station and well	"	Lot 1 DP 15754 & SO 11647	0.0873	*

DAD 9/16

DAD 7/13

⁵ AM = Area Map SM = Special Map

ID	Location of Site	Area Map No.	Site Name/ Function	Purpose of Designation	Legal Description/ Valuation No.	Area (ha)	Duration of Designation
D190	11 Cropp Place, Richmond	AM 135	Cropp Place high level reservoir	"	Easement over Lot 1 DP 13532	0.0036	*
D191	Lower Queen St, Appleby	AM 57	Waimea pump station	"	Lot 2 DP 8730	0.0930	*
D192	Tapawera-Glenhope Rd, Tapawera	AM 89	Tapawera pump station	"	Part of Lot 1 DP 302811	0.0400	*
D193	Totara St, Tapawera	AM 89	Tapawera reservoir	"	Part of Lot 2 DP 19139	0.1250	*
D194	10 Fearon St, Motueka	AM 114	Fearon's Bush pump station	"	Part of DP 514 recreation reserve	0.0150	*
D195	Old Wharf Rd, Motueka	AM 119	Recreation centre pump station	"	Part of Lot 1 DP 8862	0.0225	*
D196	Unnamed stream, Torrent Bay	AM 80	Torrent Bay water supply intake	"	Part of Pt Section 1 Block III Kaiteriteri Survey District		*
D197	Golden Hills Road	AM 56	Redwood Valley No. 1 pump station	"	Lot 5 DP 11138	0.0622	*
D198	O'Connor's Creek, State Highway 60	AM 56	Redwood Valley No. 2 pump station	"	Legal road reserve including Lot 1 DP 10646	0.0747	*
D199	Haile Lane	AM 77	Pohara Valley water supply intake	"	Lot 10 DP 14874		*
D200	Haile Lane	AM 77	Pohara Valley pump station	"	Lot 16 DP 14874	0.0694	*
D201	Pohara Valley Rd	AM 77	Pohara Valley reservoir	"	Lot 34 DP 14874	0.0284	*
D203	3 Spencer Pl, Brightwater	AM 90	Brightwater main sewer, pump station	Sewage disposal purposes	Part of Lot 1 DP 19151	0.0450	*
D204	State Highway 60, Upper Takaka	AM 81	Upper Takaka sewage treatment pond	"	Lot 14 DP 15996, Block XI Takaka Survey District	0.2788	*
D205	State Highway 60, Upper Takaka	AM 81	Upper Takaka reservoir	Public water supply purposes	Part of Pt Section 56 Block XI Takaka Survey District	0.0200	*
D206	State Highway 60, Takaka Hill	AM 14	Upper Takaka water supply intake	"	Part of Pt Section 83 Block XI Takaka Survey District	0.001	*
D236	226 Champion Rd, Richmond	AM 136	Waimea reservoir and pump station	Public water supply purposes	Lot 2 DP 9163. 19430 46603	0.3040	*
D243	Headingly Lane & Artillery Place, Richmond	AM 124	Wastewater pipemain	Wastewater disposal	Pt Lot 2 DP 18918, Pt Lot 20 DP 429773, Pt Lots 18 & 22 DP 431433	0.216	*
D244	Lower Queen St and McShane Rd, Richmond	AM 124	Water treatment plant and wastewater pump station	Public water supply and wastewater disposal	Section 1 SO455144 Waimea East District	1.03	20 years
D245 has been removed CL20A							
D246 RM1102 30	216 Champion Rd, Richmond	AM 135	Richmond East High Level Reservoir	Public water supply purposes	Sec 3 SO 452872	0.4800	20 years
Stormwater and Recreation Networks							
New							
D247	Waimea Inlet to Main Road Hope and Hill St South, Richmond	AM 57, 124, 127, 128, 133	Borck Creek and related drains (Eastern Hills, Bateup, Whites, Reed/Andrews)	Local purpose reserve stormwater and recreation	Hill Street South to Paton Road Sec 1 & 2 SO 533003; Lot 1 DP 526762; Lot 1 DP 8205; Pt Sec 34 Waimea East DIST; Lots 1 & 2 DP 431455; and parts of Lots 3-5 DP 431455, Sec 2 SO 527522, Lot 167 DP 527234, Lots 154-157 DP 523952, and Lots 145, 147 & 148 DP 513715. Paton Road (both ends) to Main Road Parts of Pt Lot 1 DP 17738, Lot 5 DP 446793, Lot 2 DP 17738; Lot 1 DP 361254, Pt Sec 19 Waimea East DIST, Lot 1 DP 6754, Lot 2 DP 15403, Lot 2 DP 8349, Lots 1 & 2 DP 396397 and State Highway 6. Main Road to Appleby Highway Lot 1 DP 15676; Secs 1 & 2 SO 501348; and parts of Lot 3 DP 447251, Lot 9 DP 20535, Lot 2 DP 447251, Lot 1 DP 9920, Lot 3 DP 20535, Sec 3 SO 501348, Crown Land Blk VI Waimea SD and State Highway 60.		20 years

DAD 1/15

CL20A
U69 7/22
DD 12/12

ID	Location of Site	Area Map No.	Site Name/ Function	Purpose of Designation	Legal Description/ Valuation No.	Area (ha)	Duration of Designation
					Appleby Highway to Lower Queen St Lot 1 DP 7680; Sec 1 SO 390485; Lot 1 DP 17994; Secs 2, 5 & 34 SO 455144; Secs 1 & 3 SO 534626; Sec 2 SO 520992; and parts of Pt Sec 108 Waimea East DIST, Pt Lot 3 DP 15764, Pt Lot 1 DP 18702 and Lot 204 DP 537200. Lower Queen St to Appleby Highway Lot 22 & 23 DP 431433; Sec 2 SO 533543, Lot 2 DP 380142; and part of Lot 1 DP 720.		
D248	Richmond South	AM 128	Bateup Drain Detention Ponds (2)	Local purpose reserve stormwater detention	Pt Lot 2 DP 17738 Lot 146 & Pt Lot 147 DP 513715	0.5024 1.793	20 years
D249	Richmond West	AM 124 & 128	Poutama Drain	Local purpose reserve (stormwater)	Part of Sec 1 SO 490525, Sec 1 SO 506258, Sec 2 SO 506258, Part of Sec 2 SO 520992	3 ha	20 years
Transport							
Existing							
D209	Motueka	AM 52, 118	Motueka Aerodrome	Aerodrome	Lot 1 & 2 DP 18903	30.3875	*
D210	Puramahoi	AM 75	Takaka aerodrome (RM210891)	Aerodrome	Section 20, Block V Waitapu Survey District	39.6592	*
D211	Brightwater	AM 90	Ellis Street – southwest side	Road widening	Pt Section 18 Waimea South District Block IX Waimea Survey District. 1939036100	0.0036	Until 1/11/2028
"	"	"	"	"	Pt Section 18 Waimea South District Block IX Waimea Survey District. 1939036200	0.0039	Until 1/11/2028
"	"	"	"	"	Pt Section 18 Waimea South District Block IX Waimea Survey District. 1939036300	0.0043	Until 1/11/2028
"	"	"	"	"	Lot 3 DP 17413. 1939035201		10 years
"	"	"	"	"	Pt Section 18 Waimea South District Block IX Waimea Survey District. 1939036600	0.1029	10 years
"	"	"	"	"	Pt Section 18 Waimea South District Block IX Waimea Survey District. 1939036800	0.1113	10 years
"	"	"	"	"	Pt Section 18 Waimea South District Block IX Waimea Survey District – Brightwater Recreation Reserve. 1939037000	0.0274	Until 1/11/2028
"	"	"	"	"	Lot 1 DP 13169 Block IX Waimea Survey District. 1939037100	0.0037	Until 1/11/2028
"	"	AM 90	Ellis Street – northeast side	"	Pt Section 2 Waimea South District Block IX Waimea Survey District 65/61. 1939039200	0.005	Until 1/11/2028
"	"	"	"	"	Lot 2 DP 16981. 1939039101	0.0009	Until 1/11/2028
"	"	"	"	"	Lot 1 DP 16981 Block IX Waimea Survey District, Interest in R/W 11A/930. 1939039100	0.0036	Until 1/11/2028
"	"	"	"	"	Lot 1 DP 19093. 1939039000	0.0058	Until 1/11/2028
"	"	"	"	"	Lot 2 DP 20001 Block IX Waimea Survey District. 1939038701	0.0032	Until 1/11/2028
"	"	"	"	"	Lot 7 DP 12 Block IX Waimea Survey District, Interest in ROW. 1939038600		*
"	"	"	"	"	Lot 2 DP 5926 Block IX Waimea Survey District. 1939038500	0.0048	Until 1/11/2028
"	"	"	"	"	Pt Section 1 Waimea South District		*
"	"	"	"	"	Lot 1 DP 17167. 1939038401	0.0028	Until 1/11/2028
"	"	"	"	"	Lot 2 DP 16401. 1939038302	0.0025	Until 1/11/2028
"	"	"	"	"	Lot 1 DP 16401 Block IX Waimea Survey District. 1939038301	0.0027	Until 1/11/2028
"	"	"	"	"	Lot 3 DP 16401 Block IX Waimea Survey District Historical "C" 1A/103. 1939038300	0.1804	*
"	"	"	"	"	Lot 2 DP 12 Block IX Waimea Survey District. 1939038200	0.0064	Until 1/11/2028
D212	Motueka	AM 52, AM 116	Pah Street - northern side	"	Lot 2 DP 347414. 1956012901	0.0249	Until 1/11/2028
"	"	"	"	"	Lot 1 DP 347414. 1956013000	0.0441	Until 1/11/2028
"	"	"	"	"	Lot 2 DP 329588. 1956010800	0.1071	Until 1/11/2028
"	"	AM 52, AM 116	Pah Street - southern side	"	Lot 5 DP 1506. 1956019900	0.0495	Until 1/11/2028
"	"	"	"	"	Pt Lot 3 & 4 DP 1506. 1956019806	0.0664	Until 1/11/2028
"	"	"	"	"	Lot 2 DP 1506. 1956051400	0.0382	Until 1/11/2028

C10 10/07
Op 3/14C120A
3/23

ID	Location of Site	Area Map No.	Site Name/ Function	Purpose of Designation	Legal Description/ Valuation No.	Area (ha)	Duration of Designation
D213	Motueka	AM 52	Queen Victoria Street	"	Pt DP 1516. 1956049400	0.0479	Until 1/11/2028
"	"	"	"	"	Lot 1 DP 3297. 1956049900	0.0105	Until 1/11/2028
"	"	"	"	"	Pt Lot 7 DP 1513. 1956049800	0.0241	Until 1/11/2028
"	"	"	"	"	Lot 8 DP 1513. 1956050000	0.0206	Until 1/11/2028
"	"	"	"	"	Lot 9 DP 1513. 1956050100	0.0620	Until 1/11/2028
"	"	"	"	"	Lot 1 DP 3541. 1956051200	0.0066	Until 1/11/2028
"	"	"	"	"	Lot 2 DP 3541. 1956051100	0.0729	Until 1/11/2028
"	"	"	"	"	Lot 3 DP 3541. 1956051301	0.0070	Until 1/11/2028
"	"	"	"	"	Lot 4 DP 3541. 1956051300	0.0067	Until 1/11/2028
"	"	"	"	"	Lot 1 DP 5241. 1956051101	0.0170	Until 1/11/2028
"	"	AM 52, AM 118	"	"	Lots 1 & 2 DP 18903 District of Motueka – Aerodrome	0.2168	Until 1/11/2028
"	"	"	"	"	Lot 7 DP 2625. 1956055504	0.0098	Until 1/11/2028
"	"	"	"	"	Lot 6 DP 2625. 1956055500	0.0072	Until 1/11/2028
"	"	"	"	"	Lot 5 DP 2625. 1956055505	0.0060	Until 1/11/2028
"	"	"	"	"	Lot 4 DP 2625. 1956055501	0.0058	Until 1/11/2028
"	"	"	"	"	Lot 3 DP 2625. 1956055506	0.0059	Until 1/11/2028
"	"	"	"	"	Lot 2 DP 2625. 1956055502	0.0058	Until 1/11/2028
"	"	"	"	"	Lot 1 DP 5374 – 2 flats shown on DP 15419. 1956055402 and 1956055402A	0.0053	Until 1/11/2028
D217	Wakefield	AM 91	Pitfure Road	"	Lot 36 DP 398748. 1937010502	0.0556	Until 1/11/2028
"	"	"	"	"	Pt Section 78 Waimea South District, Block XII Wai-iti Survey District. 1937010400	0.8094	*
"	"	"	"	"	Pt Section 78 Waimea South District, Block XIII Wai-iti Survey District. 1937010300	0.035	Until 1/11/2028
"	"	"	"	"	Pt Section 78 Waimea South District, Block XII Wai-iti Survey District. 1937010200	1.0279	*
D218	Richmond	AM 128	Wensley Road	"	Pt Lot 1 DP 4072. 1959004100		Until 1/11/2028
"	"	"	"	"	Lot 2 DP 598. 1959073000		Until 1/11/2028
D219	Richmond	AM 129 AM 130	Hill St - north	"	Lot 3 DP 2534. 1961038200	1.7108	*
"	"	"	"	"	Lot 1 DP 13308. 1961037600	1.2243	*
"	"	"	"	"	Lot 1 DP 2534. 1961038000	1.5095	*
"	"	"	"	"	Lot 1 DP 17655. 1961037701	0.0122	Until 1/11/2028
"	"	"	"	"	Pt Lot DP 242. 1961036000	0.6265	*
"	"	"	"	"	Lot 4 DP 17501. 1961028010	0.0152	Until 1/11/2028
"	"	"	"	"	Lot 5 DP 17501. 1961028012	0.0113	Until 1/11/2028
"	"	"	"	"	Lot 6 DP 17501. 1961028016	0.0125	Until 1/11/2028
"	"	"	"	"	Pt Section 70 Waimea East District. 1961025900	6.1785	*
"	"	"	"	"	Lot 2 DP 13172 Block VIII Waimea Survey District. 1961028100	2.0048	*
"	"	"	"	"	Lot 7 DP 17501. 1961028014	0.0008	Until 1/11/2028
"	"	"	"	"	Lots 1 & 9 DP 19426. 1961028017	0.0003	Until 1/11/2028
"	"	"	"	"	Lot 4 DP 19426. 1961028021	0.0003	Until 1/11/2028
"	"	"	"	"	Lot 6 DP 19426. 1961028020	0.0003	Until 1/11/2028
"	"	"	"	"	Lot 7 DP 19426. 1961028019	0.0003	Until 1/11/2028
"	"	"	"	"	Lot 8 DP 19426. 1961028018	0.0013	Until 1/11/2028



TASMAN DISTRICT COUNCIL - CONSENT NOTICE

SECTION 221 OF THE RESOURCE MANAGEMENT ACT 1991

Lobank Farm Limited as the Registered Proprietor of the estate in fee simple in the following land located within the Nelson Land Registration District;

1. Lot 1 DP 20038 CT 13B/624
2. Lot 2 DP 20038 CT 13B/625
3. Lot 3 DP 20038 CT 13B/626
4. Lot 4 DP 20038 CT 13B/627
5. Lot 5 DP 20038 CT 13B/628
6. Lot 6 DP 20038 CT 13B/629
7. Lot 7 DP 20038 CT 13B/630
8. Lot 8 DP 20038 CT 13B/631
9. Lot 9 DP 20038 CT 13B/632
10. Lot 10 DP 20038 CT 13B/633
11. Lot 11 DP 20038 CT 13B/634
12. Lot 12 DP 20038 CT 13B/635
13. Lot 68 DP 20038 CT 13B/636

The Tasman District Council hereby gives notice pursuant to Section 221 of the Resource Management Act 1991 that the subdivision consent in respect of Land Transfer Plan 20038 being subdivision of the land in Certificate of Title 56/136 was granted subject to the following conditions pursuant to Sections 104, 105 and 108 of the Resource Management Act 1991 to be complied with on a continuing basis;

1. In respect of Lots 1 to 12 DP 20038 inclusive, that the investigations and foundations for each of the said lots are to be designed by a suitably qualified, experienced and registered engineer.
2. In respect of Lots 1, 4, 6, 8, 10 and 12 DP 20038, access to the said lots shall only be by the adjoining right of way and no direct formed access shall be allowed onto Hill Street.
3. In respect of Lot 68 DP 20038, the sewage and storm water facilities are to be connected to the sewer reticulation and storm water reticulation systems for the subdivision prior to or at the latest upon completion of stage 2 of the

subdivision referred to in Tasman District Council resource consent RM950420.

This consent notice is issued under Section 221 of the Resource Management Act 1991.

DATED at Nelson this 8th day of June 2000

Signed by) Cheryl Ann Carnahan Cheryl Ann Carnahan
LOBANK FARM LIMITED)
by its directors:) Bevan Roger Walker Bevan Roger Walker

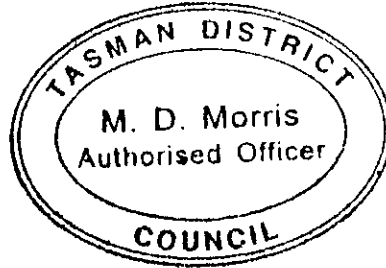
Authenticated pursuant to Section 252 of the Local Government Act 1974.

Signed by an)
authorised officer of the) M. D. Morris Authorised Person
TASMAN DISTRICT COUNCIL)
in the presence of:)

Witness: Kingsley Cook

Occupation: Engineer

Address: 76 Kawai St
Nelson



Correct for the purposes of the Land Transfer Act 1952

[Signature]
Solicitor for the Registered Proprietor

BETWEEN TASMAN DISTRICT COUNCIL

AND LOBANK FARM LIMITED

**CONSENT NOTICE UNDER SECTION 221
RESOURCE MANAGEMENT ACT 1991**

Produced
11.06.20 JUN 00 398512.2.2
Entered 21.7.2000 at 9.00
PARTICULARS ENTERED IN REGISTER
LAND REGISTRY NELSON
FOR REGISTRY - GENERAL

FLETCHER VAUTIER & CO
SOLICITORS
NELSON

P:\CW\Lobank Farm\Consent Notice.doc



Code Compliance Certificate

Form 7: Section 95, Building Act 2004

The building

Street address of building: 110 Hill Street, Richmond
Legal description of land where building is located: Lot 8 DP 20038
Valuation number: 1961025908
Building name:
Location of building within site/block number: Level/unit number:
Current, lawfully established, use: Residential dwelling
Year first constructed: 2005

The owner

Name of owner: Chen Xingnan & Cheung Ma Lee
Contact person: Mary chen
Mailing address: 110 Hill Street, Richmond 7020
Street address/registered office:
Phone number: Mobile: 0275394493
First point of contact for communications with the council/building consent authority:
Full Name: 4 Seasons Nelson Limited
Mailing Address: 5 Nayland Road, Stoke, Nelson 7011
Phones:: 035474732
Email: nelson@4seasons.co.nz

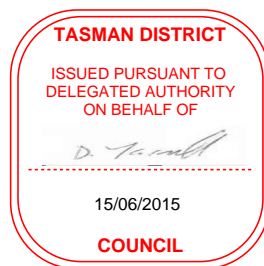
Building work

Building consent number: 150434 Issued by: Tasman District Council
Jayline ss200 free standing c/a free standing wood burner: Intended Use: Heating

Code compliance

The building consent authority named below is satisfied, on reasonable grounds, that —

(a) the building work complies with the building consent.

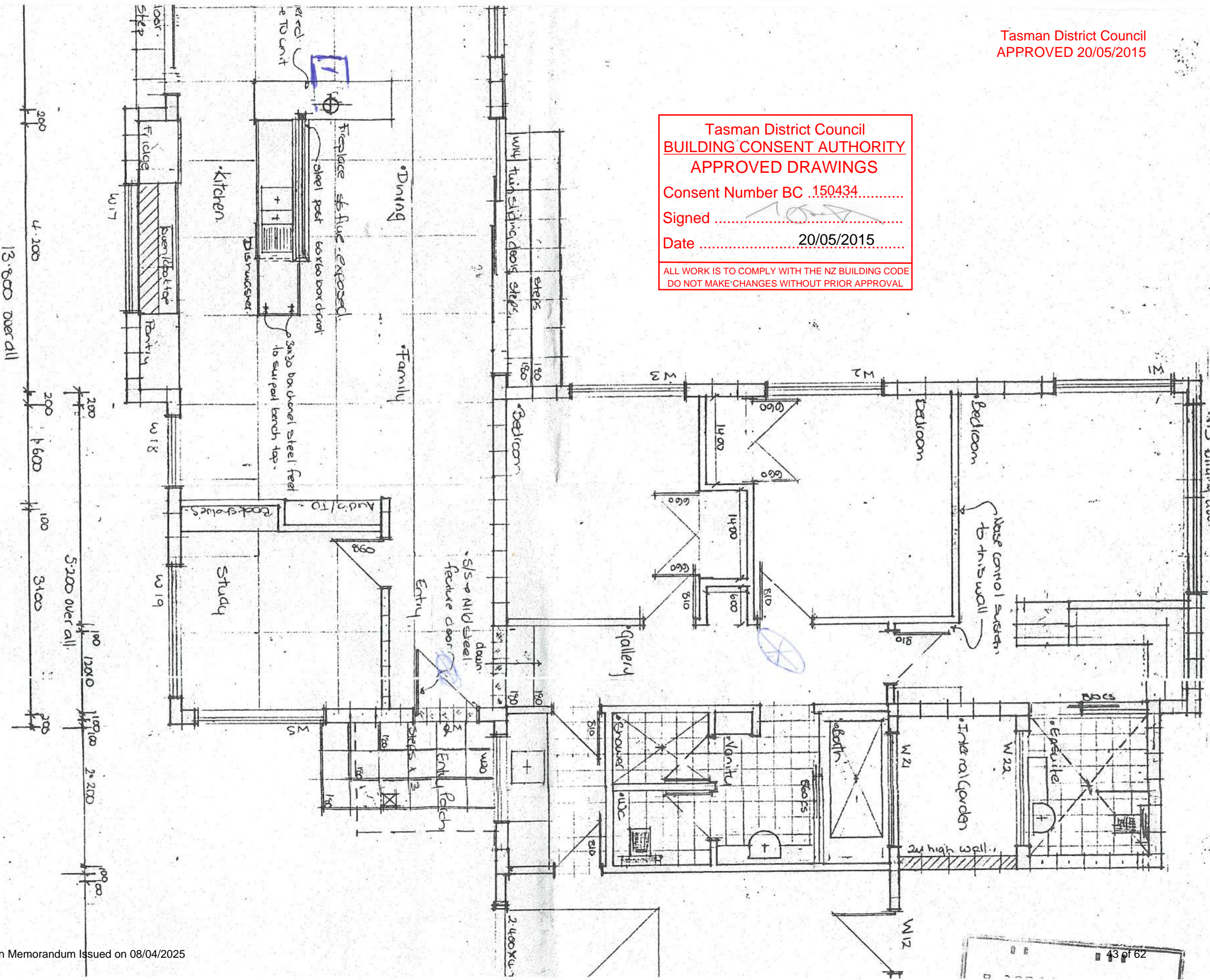


Signature
On behalf of: Tasman District Council

Position

Date: 15/06/15

Tasman District Council
BUILDING CONSENT AUTHORITY
APPROVED DRAWINGS
 Consent Number BC 150434
 Signed
 Date 20/05/2015
 ALL WORK IS TO COMPLY WITH THE NZ BUILDING CODE
 DO NOT MAKE CHANGES WITHOUT PRIOR APPROVAL



DATE: 16-05-01	Floor plan	PAGE: 2 of 7
SHEET NAME: Window schedule	Window schedule	
STATUS: Consent	Garage door jamb detail	
Scale: 1:50		

Code Compliance Certificate

Form 7: Section 95, Building Act 2004

The building

Street address of building: 110 Hill Street, Richmond
 Legal description of land where building is located: Lot 8 DP 20038
 Valuation number: 1961025908
 Building name:
 Location of building within site/block number: Level/unit number:
 Current, lawfully established, use: Dwelling
 Year first constructed: 2001

FILE

The owner

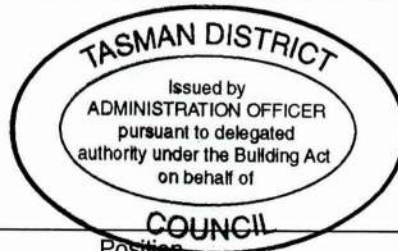
Name of owner: Butnben Holdings Limited
 Contact person:
 Mailing address: 87 Point Road, Monaco, Nelson 7011
 Street address/registered office:
 Phone number: Landline: Mobile:
 Daytime: After hours:
 Facsimile number: Email address: Website:
 First point of contact for communications with the council/building consent authority:
 Full Name: Adrian Christiansen
 Mailing Address: C/- Northwest Design, PO Box 3710, Richmond
 Phones:: 5448749: 021878749
 Email: northwestdesign@slingshot.co.nz

Building work

Building consent number: 101254 Issued by: Tasman District Council
 Construct studio with WC alongside existing garage: Intended Use: Housing - detached

Code compliance

The building consent authority named below is satisfied, on reasonable grounds, that —
 (a) the building work complies with the building consent.

Signature
 On behalf of: Tasman District Council

Position

Date: 9/03/15

Revised plans and/or details received.....date approved... 5/1/15...date



From

SCOPE OF WORK, REMOVE INDOOR GARDEN, PROVIDE FLOOR AND ROOF WITHIN EXISTING WALLS, GIVES ACCESS TO STUDIO AND PROVIDES EXTRA STORAGE

THIS COMPLIES, 1 BOUNDARY OKAY AT 1500, HIRTB JUST OK, REFER ELEVATIONS

NEW HOUSE TOTAL 235.60 M2, 34.69 %, RESOURCE CONSENT APPLICATION AT TDC

SCOPE OF WORK, CREATE NEW ATTACHED STUDIO/WORKSHOP WITH TOILET AND CLEANERS SINK

TWO COMPLYING CARPARKS, ONSITE TURNING OKAY WITH USE OF ROW

NO NEED FOR SETOUT, WORK IS ENTIRELY ATTACHED TO EXISTING STRUCTURE

HATCHED AREA IS EXISTING HOUSE

POWER, PHONE AND WATER SERVICES TO SITE NOT ALTERED

- GENERAL NOTES:**
- Contractor is to verify all dimensions and levels before commencing any work.
 - All work is to be carried out according to the best trade practice and in accordance with relevant NZ standards. The Building Act 1991, NZ Building Code, and all relevant Local Authority by-laws.
 - SURFACE WATER to comply with NZBC-E1.
 - EXTERNAL MOISTURE to comply with E2/AS1.
 - INTERNAL moisture to comply with NZBC-E3.
 - PLUMBING and DRAINAGE work must comply with AS/NZ 3500.
 - ELECTRICAL work to comply with NZBC-609.
 - WINDOW JOINERY to comply with NZS 4211-1985.
 - GLAZING to comply with NZBC-F2.
 - BLOCKWORK to comply with NZS 4229-1999 and NZS 4210-2001.
 - FRAMING and FIXINGS to comply with NZS 3604:1999.
 - DURABILITY to comply with NZBC-B2.
 - All FLASHINGS to comply with NZS-3604:1999 and NZBC-E2 and all manufacturers installation recommendations.
 - ROOFING SYSTEM by others and to comply with NZS 3604:1999 and NZBC-E2.
 - Check location of STORMWATER, SEWER, GAS, POWER etc on site prior to commencing any works.
 - DO NOT SCALE OFF THE DRAWINGS.
 - IF IN DOUBT ASK.
 - Read the specifications and building consent conditions prior to commencing.

PLANNING NOTES

LEGAL: address	110 HILL ST
suburb	NELSON
LOT/DP	LOT 8, DP 20038
CT	NL138/631
Area	679M2
PLANNING: res. zone	
wind zone	MEDIUM
other	
max cover	33%
TA	TDC
AREAS-	
House existing	190.76
proposed	43.20
porch	1.64
TOTAL	229.27
footprint	235.60
Site total	679M2
net	
% covered	34.70%
impermeable	
permeable	

ROW ACCESS

HILL ST

SITE PLAN 1:200

RECEIVED
19 JAN 2015
TASMAN DISTRICT COUNCIL

Tasman District Council
BUILDING CONSENT AUTHORITY
APPROVED
17 NOV 2010
BUILDING CONSENT

ALL WORK IS TO COMPLY WITH THE NZ BUILDING CODE
DO NOT MAKE CHANGES WITHOUT PRIOR APPROVAL

NORTHWEST DESIGN

25 EDENS ROAD, HOPE.

PH (03) 544-8749 or (021) 87 87 49

CONTRACT

Proposed workshop addition to existing garage
AT: 110 Hill St, Richmond
FOR: Lester and Patsy Fletcher

ORIGINAL SCALE(S)

1:200

DRAWING TITLE

SITE PLAN

SHEET No

01.

DRAWN

A.Christiansen

DATE

Feb 10

JOB No

45 of 62

GENERAL NOTES:

DIMENSIONS

ALL DIMENSIONS ARE SHOWN TO FRAMING UNLESS OTHERWISE STATED.
ALLOW FOR 6mm FRAMING OVERHANG WHEN SETTING OUT FLOOR SLAB.

NEW ALUMINIUM WINDOW AND DOOR JOINERY IS DOUBLE GLAZED AND POWDERCOATED.

ALL WINDOW JAMB LINERS TO BE MINIMUM H3.1 TREATED

Revised plans and/or details received.....date approved 5/2/10

Legend:

DSA DOMESTIC SMOKE ALARM COMPLYING WITH ANY OF THE FOLLOWING STANDARDS, UL217, ULC-S531, AS3786 OR BS5446 - PART 1

PH TELEPHONE
XHT WATER HOSE TAP

CAP 800SQ. CEILING ACCESS PANEL

FF SHR FORM FALL SHOWER

SHOWER ROSE
SHOWER DOOR SWING

MOULDED CUBICLE SHOWER

TYPE C =LINTEL FIXING TYPE
190X90L =LINTEL SIZE
2125X1800=OPENING SIZE (H X W)

FRAMING NOTES:

70x35 CEILING BATTENS AT 400 CRS.

WALL INSULATION IS FIBREGLASS BATTS, MIN R2.8 and 3.5

WALL FRAMING

ALL WALLS FRAMED WITH 90X45 STUDS AT 600 MAX CRS. UNLESS OTHERWISE SHOWN. ALL EXTERNAL WALL FRAMING SHALL BE PRESERVATIVE TREATED "H1.2" WITH "H3.1" BOTTOM PLATES.
ALL LINTELS & BEAMS TO BE DESIGNED IN ACCORDANCE WITH ROOF TRUSS DESIGN MANUFACTURER. LINTEL DESIGN CERTIFICATE & TRUSS DESIGN CERTIFICATED TO BE PROVIDED PRIOR TO MANUFACTURE.
ALL TIMBER V5G 8 UNLESS STATED OTHERWISE

FRAMING NOTES- graded as per NZS 3604

Internal frames: height	2420	External frames: height	2460 nom
window/door height	2020	window/door height	2125
studs size	90X45	studs size	90/140x45
centres	600	centres	400
dwangs centres	800	dwangs centres	800
timber grade	V5G 8	timber grade	V5G 8
treatment level	ut	treatment level	H1.2

LINTELS AS SHOWN ON PLAN

REMOVE EXISTING CONCRETE MASONRY GARDEN WALL, AND SCABBLE FOUNDATION DOWN BELOW SLAB

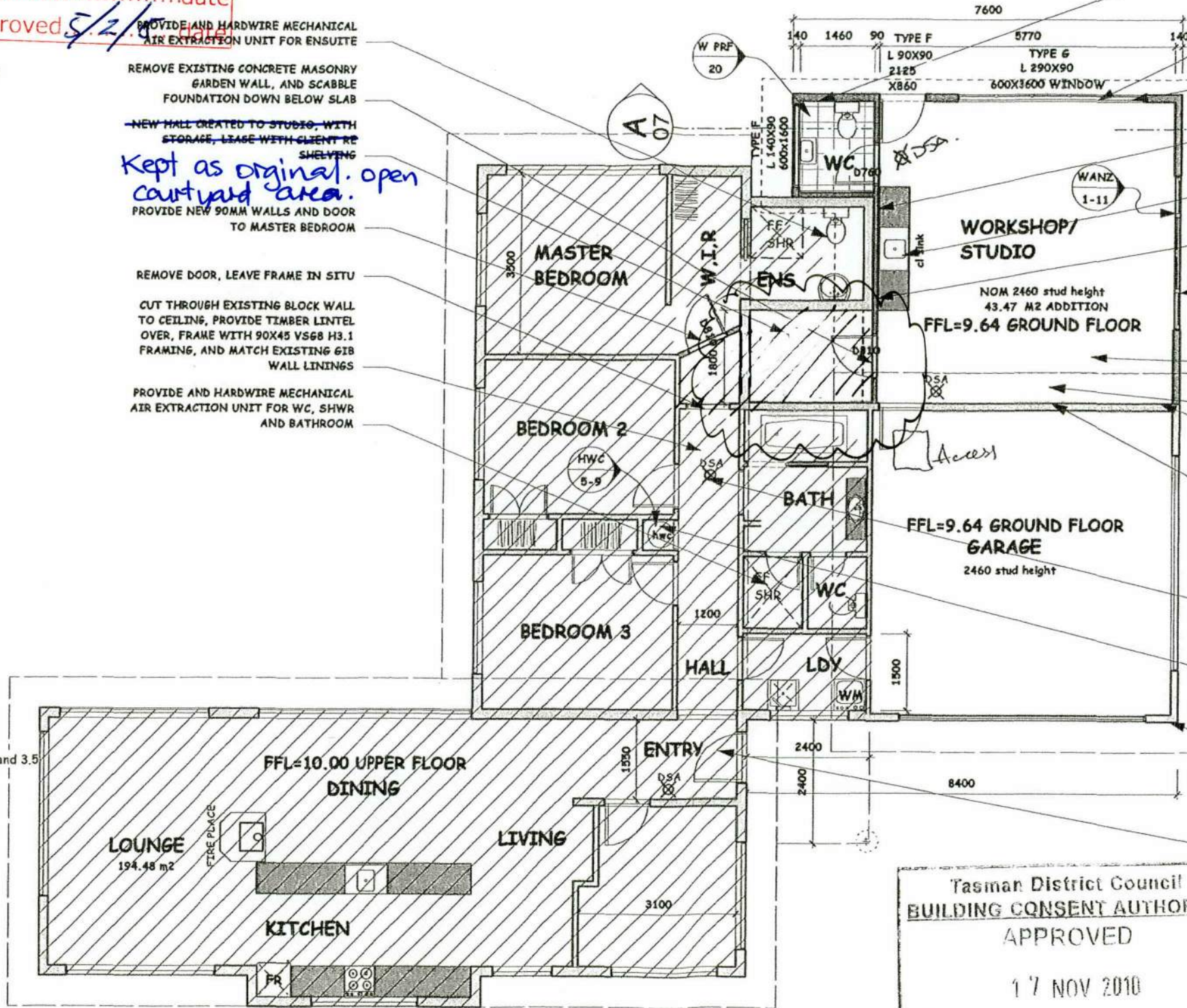
NEW HALL CREATED TO STUDIO, WITH STORAGE, LEASE WITH CLIENT RE SHELVING

REMOVE DOOR, LEAVE FRAME IN SITU

CUT THROUGH EXISTING BLOCK WALL TO CEILING, PROVIDE TIMBER LINTEL OVER, FRAME WITH 90X45 VS68 H3.1 FRAMING, AND MATCH EXISTING 618 WALL LININGS

PROVIDE AND HARDWIRE MECHANICAL AIR EXTRACTION UNIT FOR WC, SHWR AND BATHROOM

Kept as original. open courtyard area.



GROUND FLOOR PLAN 1:100

Tasman District Council
BUILDING CONSENT AUTHORITY
APPROVED
17 NOV 2010
BUILDING CONSENT
ALL WORK IS TO COMPLY WITH THE NZ BUILDING CODE
DO NOT MAKE CHANGES WITHOUT PRIOR APPROVAL

TOILET WALLS ARE AQUALINE WITH 2 COATS SEMIGLOSS PAINT, FLOORS ARE CERAMIC TILES

FRAME DETAILER TO NOTE THAT 60MM BULLNOSE ARCHITRAVE IS BEING USED. ALLOW DOORS ADJACENT INTERNAL CORNERS TO BE PACKED TO SUIT. MATCH EXISTING ARCHITRAVES IN HOUSE. USE 19MM FLAT JAMBS FOR JOINERY/DOORS

PROVIDE NEW 90MM FRAMED WALLS, STUDS AT 400 CRS, ALONGSIDE EXISTING BLOCK WALL

CLEANERS SINK IS FOR STUDIO USE ONLY, NO FOOD PREPERATION IN THIS AREA

INSULATE WITH R 2.6 BATTS AND LINE WITH 9.00MM BD GRADE PLYWOOD FINISH

NEW 140MM FRAMED WALLS, STUDS AT 400 CRS, NOGS AT 800 CRS, INSULATE WITH R 3.5 BATTS, LINE INTERNALLY WITH 10. mm GIB

ALL DOWNLIGHTS TO BE CA RATED TO SUIT R3.6 BATTS

LIASE WITH CLIENT RE HEATING, REQUIRES HEAT PUMP OR SIMILAR

MATCH TOP OF NEW TRUSSES TO SAME HEIGHT AS EXISTING ROOF, ADJUST HEIGHT OF FRAMED WALLS BELOW TO SUIT, MAY DROP CEILING HEIGHT BY 50MM

STRAP AND LINE GARAGE WALL WITH 90X45 FRAMING, AND R2.6 BATTS

PROVIDE SMOKE ALARMS WITHIN 3.0M OF BEDROOM DOORS AND TO ESCAPE ROUTES

EXISTING HWC NOT ALTERED, ENSURE SEISMIC RESTRAINTS IN PLACE

SERVICES INTO HOUSE, POWER, WATER, PHONE, NOT ALTERED

TIMBER NOTES:

HATCHED AREA, EXISTING NOT STRUCTURAL TIMBERS MUST COMPLY WITH NZS3602 AND NZBC E2/AS1. ALL STRUCTURAL MEMBERS TO BE MIN. V5G 8 GRADE, DWANGS CAN BE V5G 6 ENSURE THAT DWANG TREATMENT MATCHES SURROUNDING STRUCTURE. EXTERNAL WALLS ARE H1.2, INTERNAL WALLS ARE UNTREATED, ALL ON DPC, BOTTOM PLATES ARE H3.1. ALL FRAMING UNDER ROOFS UNDER 10° OR UNDER WET AREAS TO BE H3.1.

TIMBER TREATMENT: ENSURE COMPLIANCE WITH NZS-3602:2003. PROTECT FRAMING FROM EXCESSIVE MOISTURE AND GROUND CONTACT. ENSURE MOISTURE LEVELS ARE BETWEEN 12 TO 16% MAX. ENSURE THAT ADHESIVES ARE COMPATIBLE WITH TREATMENT TYPE.

NORTHWEST DESIGN
25 EDENS ROAD, HOPE.

PH (03) 544-8749 or (021)87 87 49

CONTRACT

Proposed workshop addition to existing garage
AT: 110 Hill St, Richmond
FOR: Lester and Patsy Fletcher

ORIGINAL SCALE(S)

1:100

DRAWING TITLE

GROUND FLOOR PLAN

DRAWN
A.Christiansen

DATE
Feb 10

SHEET NO.

03.

JOB No.
46 Nam

GENERAL NOTES:

DIMENSIONS

ALL DIMENSIONS ARE SHOWN TO FRAMING UNLESS OTHERWISE STATED.
ALLOW FOR 6mm FRAMING OVERHANG WHEN SETTING OUT FLOOR SLAB.

NEW ALUMINIUM WINDOW AND DOOR JOINERY IS DOUBLE GLAZED AND POWDERCOATED.

ALL WINDOW JAMB LINERS TO BE MINIMUM H3.1 TREATED

Legend:

DSA DOMESTIC SMOKE ALARM COMPLYING WITH ANY OF THE FOLLOWING STANDARDS, UL217, ULC-S531, AS3786 OR BS5446 - PART 1

PH TELEPHONE
X HT WATER HOSE TAP

CAP 800SQ. CEILING ACCESS PANEL

FF SHR FORM FALL SHOWER

SHOWER ROSE
SHOWER DOOR SWING

MOULDED CUBICLE SHOWER

TYPE C =LINTEL FIXING TYPE
190X90L =LINTEL SIZE
2125X1800=OPENING SIZE (H X W)

FRAMING NOTES:

70x35 CEILING BATTENS AT 400 CRS.
WALL INSULATION IS FIBREGLASS BATTS, MIN R2.8 and 3.5
WALL FRAMING

ALL WALLS FRAMED WITH 90X45 STUDS AT 600 MAX CRS. UNLESS OTHERWISE SHOWN.
ALL EXTERNAL WALL FRAMING SHALL BE PRESERVATIVE TREATED "H1.2" WITH "H3.1" BOTTOM PLATES.
ALL LINTELS & BEAMS TO BE DESIGNED IN ACCORDANCE WITH ROOF TRUSS DESIGN MANUFACTURER. LINTEL DESIGN CERTIFICATE & TRUSS DESIGN CERTIFICATE TO BE PROVIDED PRIOR TO MANUFACTURE.
ALL TIMBER VSG 8 UNLESS STATED OTHERWISE

FRAMING NOTES- graded as per NZS 3604

Internal frames; height	2420	External frames; height	2460 nom
window/door height	2020	window/door height	2125
studs size	90X45	studs size	90/140x45
centres	600	centres	400
dwangs centres	800	dwangs centres	800
timber grade	VSG 8	timber grade	VSG 8
treatment level	ut	treatment level	H1.2

LINTELS AS SHOWN ON PLAN

PROVIDE AND HARDWIRE MECHANICAL AIR EXTRACTION UNIT FOR ENSUITE

REMOVE EXISTING CONCRETE MASONRY GARDEN WALL, AND SCABBLE FOUNDATION DOWN BELOW SLAB

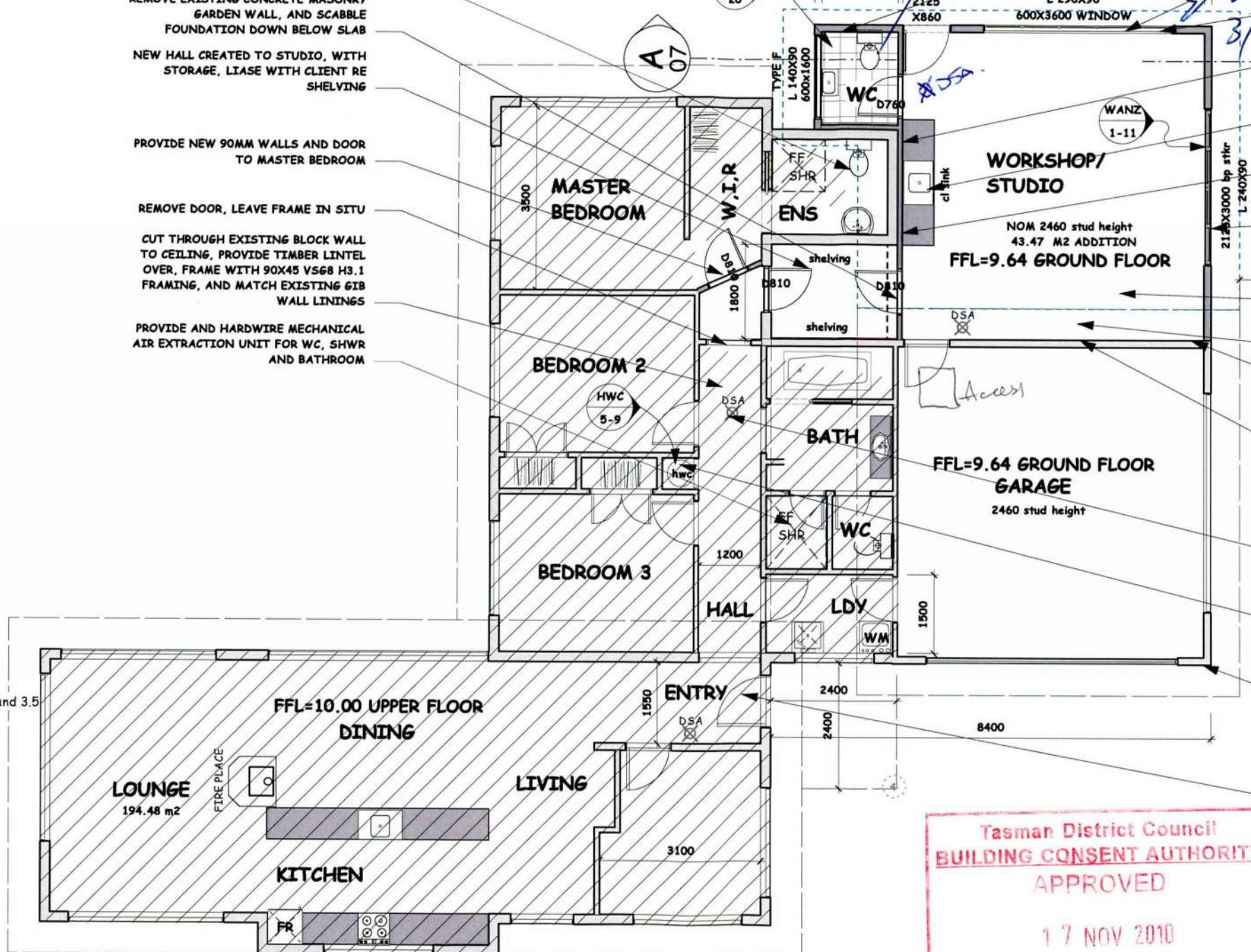
NEW HALL CREATED TO STUDIO, WITH STORAGE, LIASE WITH CLIENT RE SHELVING

PROVIDE NEW 90MM WALLS AND DOOR TO MASTER BEDROOM

REMOVE DOOR, LEAVE FRAME IN SITU

CUT THROUGH EXISTING BLOCK WALL TO CEILING, PROVIDE TIMBER LINTEL OVER, FRAME WITH 90X45 VSG8 H3.1 FRAMING, AND MATCH EXISTING 618 WALL LININGS

PROVIDE AND HARDWIRE MECHANICAL AIR EXTRACTION UNIT FOR WC, SHWR AND BATHROOM



GROUND FLOOR PLAN 1:100

Revised plans and/or details received... 5/7/15 date approved... 3/2/15 date

Deleted Tiles / Scaled Concrete Floor

TOILET WALLS ARE AQUALINE WITH 2 COATS SEMIGLOSS PAINT, FLOORS ARE CERAMIC TILES

FRAME DETAILER TO NOTE THAT 60MM BULLNOSE ARCHITRAVE IS BEING USED. ALLOW DOORS ADJACENT INTERNAL CORNERS TO BE PACKED TO SUIT, MATCH EXISTING ARCHITRAVES IN HOUSE USE 19MM FLAT JAMBS FOR JOINERY/DOORS

PROVIDE NEW 90MM FRAMED WALLS, STUDS AT 400 CRS, ALONGSIDE EXISTING BLOCK WALL

CLEANERS SINK IS FOR STUDIO USE ONLY, NO FOOD PREPARATION IN THIS AREA

INSULATE WITH R 2.6 BATTS AND LINE WITH 9.00MM BD GRADE PLYWOOD FINISH

NEW 140MM FRAMED WALLS, STUDS AT 400 CRS, NOGS AT 800 CRS, INSULATE WITH R 3.5 BATTS, LINE INTERNALLY WITH 10. mm 618

ALL DOWNLIGHTS TO BE CA RATED TO SUIT R3.6 BATTS

LIASE WITH CLIENT RE HEATING, REQUIRES HEAT PUMP OR SIMILAR

MATCH TOP OF NEW TRUSSES TO SAME HEIGHT AS EXISTING ROOF, ADJUST HEIGHT OF FRAMED WALLS BELOW TO SUIT, MAY DROP CEILING HEIGHT BY 50MM

STRAP AND LINE GARAGE WALL WITH 90X45 FRAMING, AND R2.6 BATTS

PROVIDE SMOKE ALARMS WITHIN 3.0M OF BEDROOM DOORS AND TO ESCAPE ROUTES

EXISTING HWC NOT ALTERED, ENSURE SEISMIC RESTRAINTS IN PLACE

SERVICES INTO HOUSE, POWER, WATER, PHONE, NOT ALTERED

TIMBER NOTES:

HATCHED AREA, EXISTING NOT STRUCTURAL TIMBERS MUST COMPLY WITH NZS3602 AND NZBC E2/AS1. ALL STRUCTURAL MEMBERS TO BE MIN. VSG 8 GRADE, DWANGS CAN BE VSG 6 ENSURE THAT DWANG TREATMENT MATCHES SURROUNDING STRUCTURE. EXTERNAL WALLS ARE H1.2, INTERNAL WALLS ARE UNTREATED, ALL ON DPC, BOTTOM PLATES ARE H3.1. ALL FRAMING UNDER ROOFS UNDER 10° OR UNDER WET AREAS TO BE H3.1.

TIMBER TREATMENT: ENSURE COMPLIANCE WITH NZS-3602:2003. PROTECT FRAMING FROM EXCESSIVE MOISTURE AND GROUND CONTACT. ENSURE MOISTURE LEVELS ARE BETWEEN 12 TO 16% MAX. ENSURE THAT ADHESIVES ARE COMPATIBLE WITH TREATMENT TYPE.

**Tasman District Council
BUILDING CONSENT AUTHORITY
APPROVED
17 NOV 2010
BUILDING CONSENT**

Rev:	Date:	Comment:

NORTHWEST DESIGN
25 EDENS ROAD, HOPE.
PH (03) 544 8749 or (021) 87 87 19

CONTRACT
**Proposed workshop addition to existing garage
AT: 110 Hill St, Richmond
FOR: Lester and Patsy Fletcher**

ORIGINAL SCALE(S) 1:100	DRAWING TITLE GROUND FLOOR PLAN	SHEET No. 03.
DRAWN A.Christiansen	DATE Feb 10	JOB No. 47 of 62 Num

Revised plans and/or details received.....date approved.....date

Yasman District Council
BUILDING CONSENT AUTHORITY
 APPROVED
 17 NOV 2010
BUILDING CONSENT
 ALL WORK IS TO COMPLY WITH THE NZ BUILDING CODE
 DO NOT MAKE CHANGES WITHOUT PRIOR APPROVAL

W BD 10

FFL=9.60

FFL=10.00

EX150X25 CEDAR WEATHERBOARD, RUSTICATED PROFILE, (150 COVER) ON 45X20H3.1 CAVITY BATTENS ON BUILDING WRAP ON 90MM FRAMING

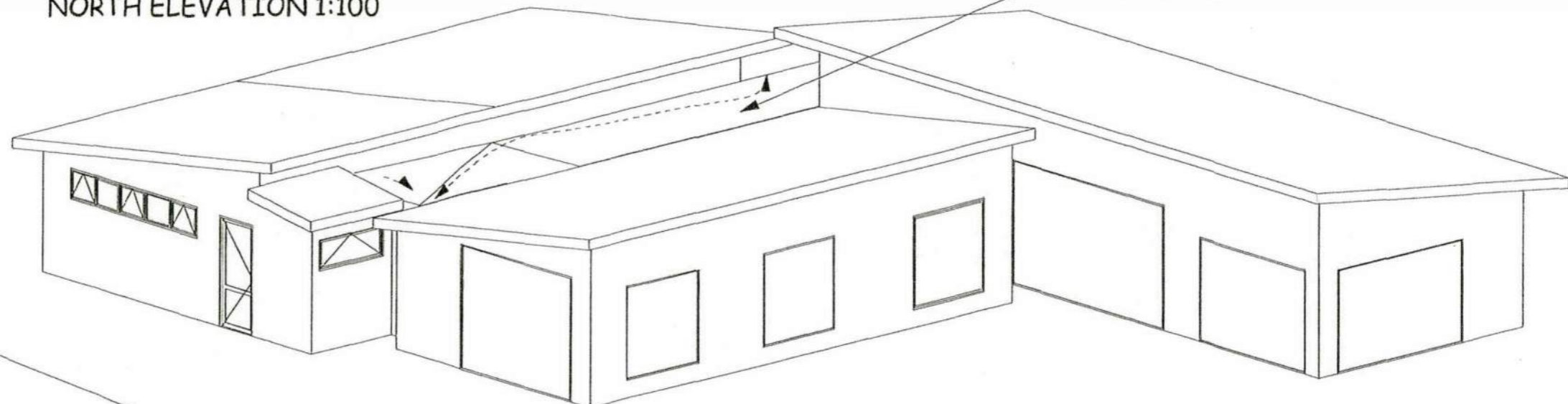
NORTH ELEVATION 1:100

MEMBRANE ROOF, DASHED LINES SHOW PATH OF WATER OUT

CONTROL JOINTS SHOWN ARE AS PER ROCKCOTE MANUAL, BUT INSTALLER IS TO VERIFY LOCATION, PROVIDING COVER OF SAME IN THEIR INSTALLATION PRODUCER STATEMENT

8° PITCH, LONGRUN COLOUR COATED STEEL ROOFING, TRAPEZOIDAL PROFILE, ON ROOFING UNDERLAY AND NETTING ON 70X45H3.1 PURLINS ON NAILPLATED H3.1 TRUSSES

SELECTED DOUBLE GLAZED POWDERCOATED ALUMINIUM WINDOW AND DOOR JOINERY



HOUSE EXTENSION GENERALLY COMPLIES WITH H1 VIA SCHEDULE METHOD, R1.3 FLOOR, R3.5 WALLS, R3.6 CEILING INSULATION, ALL DOUBLE GLAZED, NO STAINED GLASS, NO ROOF GLAZING, SOUTH, EAST AND WEST WALLS LESS THAN 30% GLAZING/WALL RATIO, OK

SOUTH ELEVATION 1:100

C JT 2-12

PLASTER 11-17

6 CLR 4-9

39 DEG. HIRTS

1540

EAVE TO RIDGE 228

2500

MAX HEIGHT 3763

TIMBER FASCIA AND POWDERCOATED COLOUR COATED STEEL PROPRIETARY GUTTER SYSTEM, MATCH EXISTING

4.5MM FIBRE CEMENT SOFFIT EAVE LINING

MODIFIED PLASTER SYSTEM ON 40MM POLYSTYRENE SUBSTRATE BOARD ON POLYSTYRENE CAVITY BATTENS ON BUILDING WRAP ON 140MM FRAMING, BULK OUT WALL TO MATCH EXISTING CONCRETE MASONRY WALL

CONCRETE SLAB ON GRADE FOUNDATION

SLOPE GROUND IMMEDIATELY ADJACENT HOUSE AWAY, MIN 1:25 FALL, 225 FROM FFL TO EXPOSED GROUND, 150MM TO CONCRETE PATHS ETC

RISK MATRIX - ALL FACES					
RISK FACTOR	LOW	MED	HIGH	VH	ST
Wind (NZS 3604)	0	0	1	2	0
Storeys	0	1	2	4	0
R/W Intersection	0	1	3	5	5
Eaves Width	0	1	2	5	5
Complexity	0	1	3	6	3
Deck Design	0	2	4	6	0
TOTAL RISK SCORE 13					

Rev: Date:	

NORTHWEST DESIGN

25 EDENS ROAD, HOPE.

PH (03) 544-8749 or (021) 87 87 49

CONTRACT
Proposed workshop addition to existing garage
AT: 110 Hill St, Richmond
FOR: Lester and Patsy Fletcher

ORIGINAL SCALE(S)
1:100

DRAWING TITLE
ELEVATIONS

DRAWN
 A.Christiansen

DATE
Feb 10

SHEET #
05.

JOB No
 48 of 62
 Num

Revised plans and/or details received.....date approved.....date

CONTROL JOINTS SHOWN ARE AS PER ROCKCOTE MANUAL, BUT INSTALLER IS TO VERIFY LOCATION, PROVIDING COVER OF SAME IN THEIR INSTALLATION PRODUCER STATEMENT
 8° PITCH, LONGRUN COLOUR COATED STEEL ROOFING, TRAPEZOIDAL PROFILE, ON ROOFING UNDERLAY AND NETTING ON 70X45H3.1 PURLINS ON NAILPLATED H3.1 TRUSSES

SET FIRST TRUSS BACK TO INSIDE OF 140MM WALL, TRUSS CLAD WITH WEATHERBOARD, TRANSITION TO PLASTER CLADDING WITH COLOUR COATED STEEL HORIZONTAL Z FLASH

EX150X25 CEDAR WEATHERBOARD, RUSTICATED PROFILE, (150 COVER) ON 45X20H3.1 CAVITY BATTENS ON BUILDING WRAP ON 90MM FRAMING

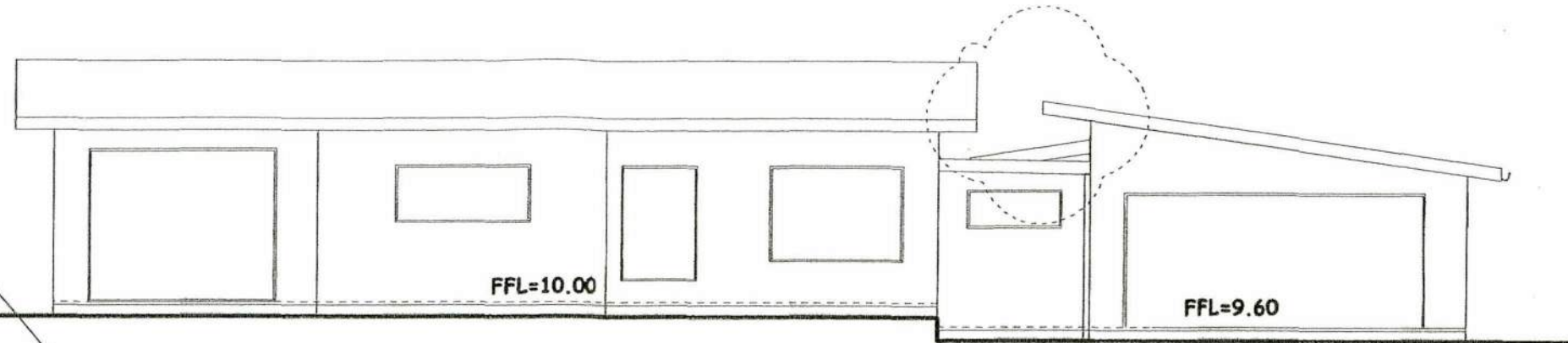
SELECTED DOUBLE GLAZED POWDERCOATED ALUMINIUM WINDOW AND DOOR JOINERY

TIMBER FASCIA AND POWDERCOATED COLOUR COATED STEEL PROPRIETARY GUTTER SYSTEM, MATCH EXISTING

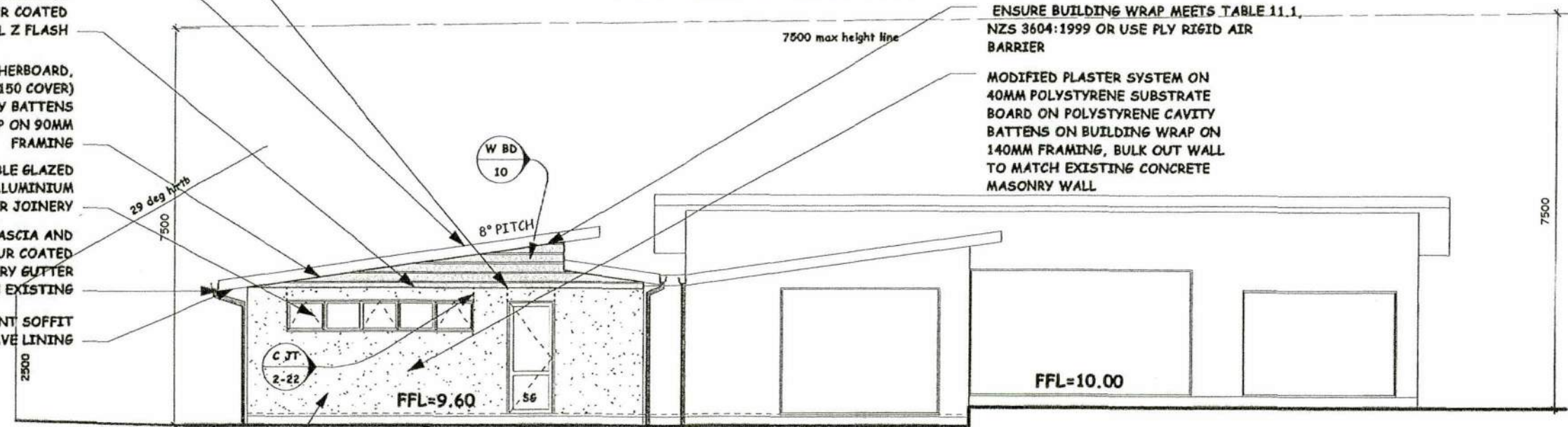
4.5MM FIBRE CEMENT SOFFIT EAVE LINING

SLOPE GROUND IMMEDIATELY ADJACENT HOUSE AWAY, MIN 1:25 FALL, 225 FROM FFL TO EXPOSED GROUND, 150MM TO CONCRETE PATHS ETC

CONCRETE SLAB ON GRADE FOUNDATION



WEST ELEVATION 1:100



EAST ELEVATION 1:100

ENSURE BUILDING WRAP MEETS TABLE 11.1, NZS 3604:1999 OR USE PLY RIGID AIR BARRIER

MODIFIED PLASTER SYSTEM ON 40MM POLYSTYRENE SUBSTRATE BOARD ON POLYSTYRENE CAVITY BATTENS ON BUILDING WRAP ON 140MM FRAMING, BULK OUT WALL TO MATCH EXISTING CONCRETE MASONRY WALL

HOUSE EXTENSION GENERALLY COMPLIES WITH H1 VIA SCHEDULE METHOD, R1.3 FLOOR, R3.5 WALLS, R3.6 CEILING INSULATION, ALL DOUBLE GLAZED, NO STAINED GLASS, NO ROOF GLAZING, SOUTH, EAST AND WEST WALLS LESS THAN 30% GLAZING/WALL RATIO, OK

Tasman District Council
 BUILDING CONSENT AUTHORITY
 APPROVED
 17 NOV 2010
 BUILDING CONSENT
 ALL WORK IS TO COMPLY WITH THE NZ BUILDING CODE
 DO NOT MAKE CHANGES WITHOUT PRIOR APPROVAL

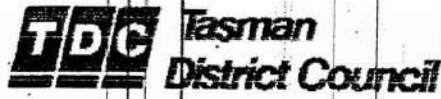
RISK MATRIX - ALL FACES					
RISK FACTOR	LOW	MED	HIGH	VH	ST
Wind (NZS 3604)	0	0	1	2	0
Storeys	0	1	2	4	0
R/W Intersection	0	1	3	5	5
Eaves Width	0	1	2	5	5
Complexity	0	1	3	6	3
Deck Design	0	2	4	6	0
TOTAL RISK SCORE					13

NORTHWEST DESIGN
 25 EDENS ROAD, HOPE.

CONTRACT
Proposed workshop addition to existing garage
AT: 110 Hill St, Richmond
FOR: Lester and Patsy Fletcher

ORIGINAL SCALE(S) 1:100	DRAWING TITLE ELEVATIONS	SHEET NO. 06.
DRAWN A.Christiansen	DATE Feb 10	JOB No. 49 okm

Tasman District Council
BUILDING CONSENT AUTHORITY
APPROVED DRAWINGS
Consent Number BC. 101254
Signed *[Signature]*
Date 17. 11. 10
ALL WORK IS TO COMPLY WITH THE NZ BUILDING CODE
DO NOT MAKE CHANGES WITHOUT PRIOR APPROVAL



COPY

DRAINLAYING FIRM The Drainman Ltd

BUILDING CONSENT No. 101248

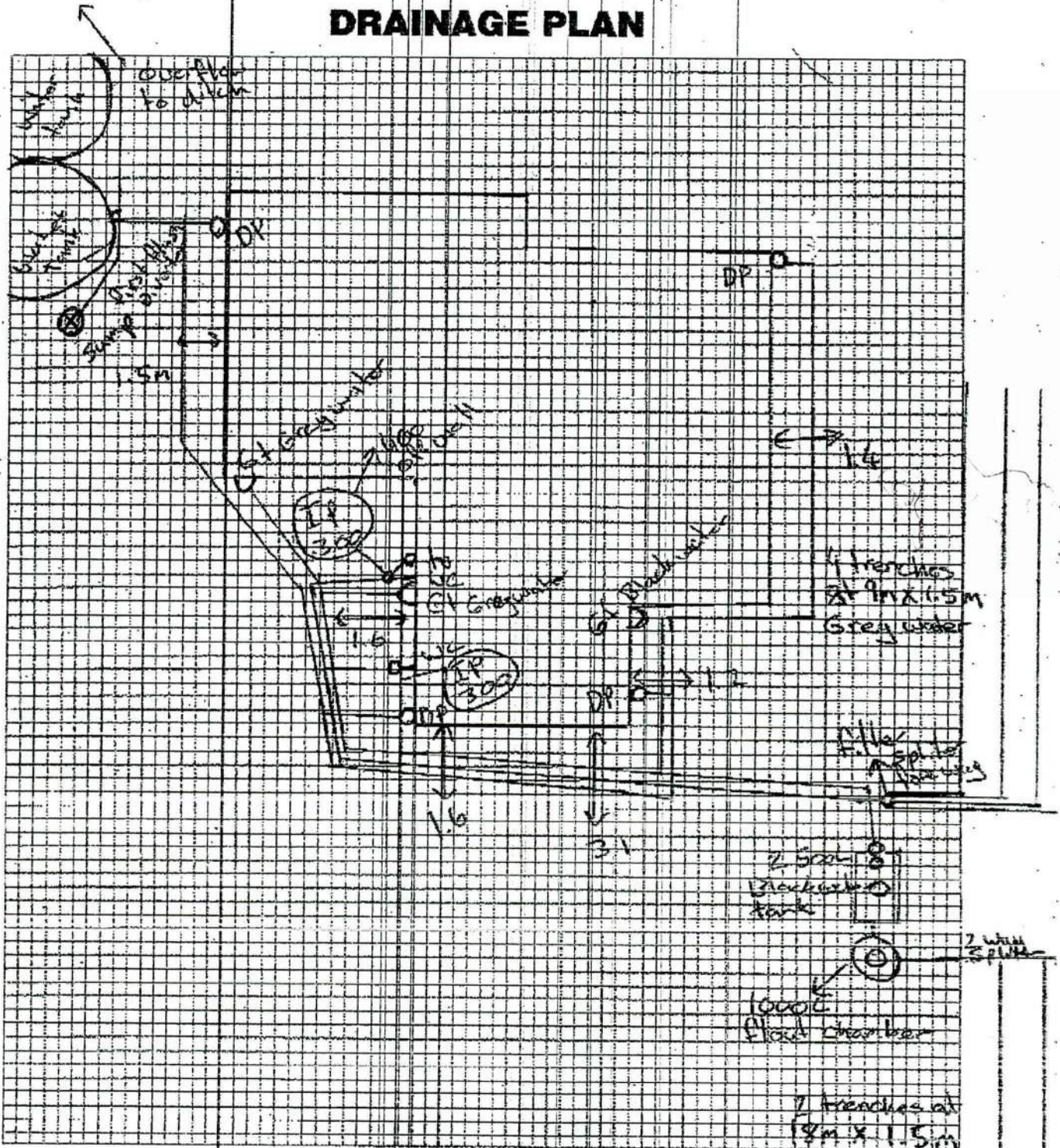
PROPERTY OWNER Fletcher

LOCATION/STREET 110 Hill St

DATE _____

TOWNSHIP Richmond

DRAINAGE PLAN



INSTALLED TO BUILDING CODE
SIGNED BY REGISTERED DRAINLAYER _____

INSPECTED BY _____

Code Compliance Certificate

Section 95, Building Act 2004

Application

THE MANLEY TRUST P O Box 45 BRIGHTWATER	No. 010364 Issue date 3/03/08 Overseer Graeme Wood
---	--

Project

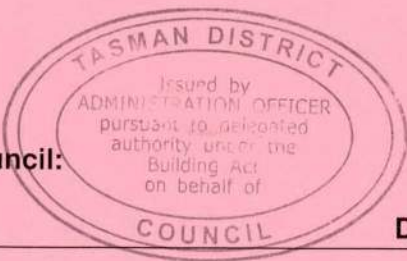
Description	New (& prebuilt) House, Unit, Bach, Crib, Town House etc. Being Stage 1 of an intended 1 Stages TO BUILD HOUSE
Intended Life	Indefinite, but not less than 50 years
Intended Use	HOUSING
Estimated Value	\$124,000
Location	110 HILL ST, RICHMOND
Legal Description	LOT 8 DP20038
Valuation No.	1961025908

FILE

This is a final Code Compliance Certificate issued in respect of all the building work under the above building consent.

Signed for and on behalf of the Council:

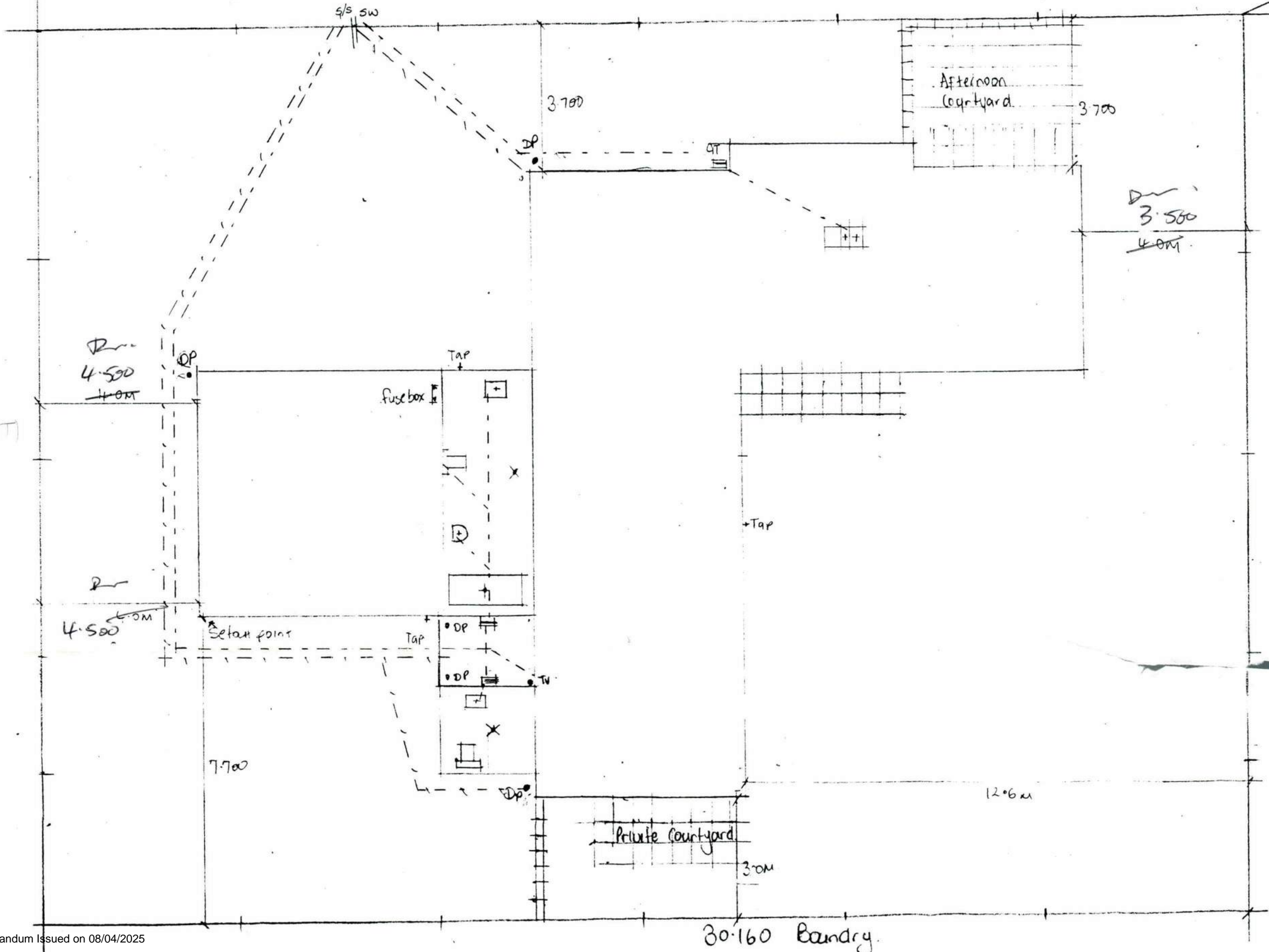
Name: *[Signature]*



Date: 25/2/08.



COPY



DMD THE BUILDING & DESIGN COMPANY LTD
 Builders of Pleasantly Different Homes
 PO Box 45 Brightwater Nelson
 Phone 035419286
 COPYRIGHT

Master's House
 10bank Farm lot 8
 Hill street
 Richmond
 Tairānui district

DATE: 18.03.21
 SHEET NAME: D-MAN.
 STATUS: CONSENT

Site Services plan
 scales
 1:100

PAGE 1 OF 7

**TASMAN DISTRICT COUNCIL
APPROVED CONSENT DOCUMENT**

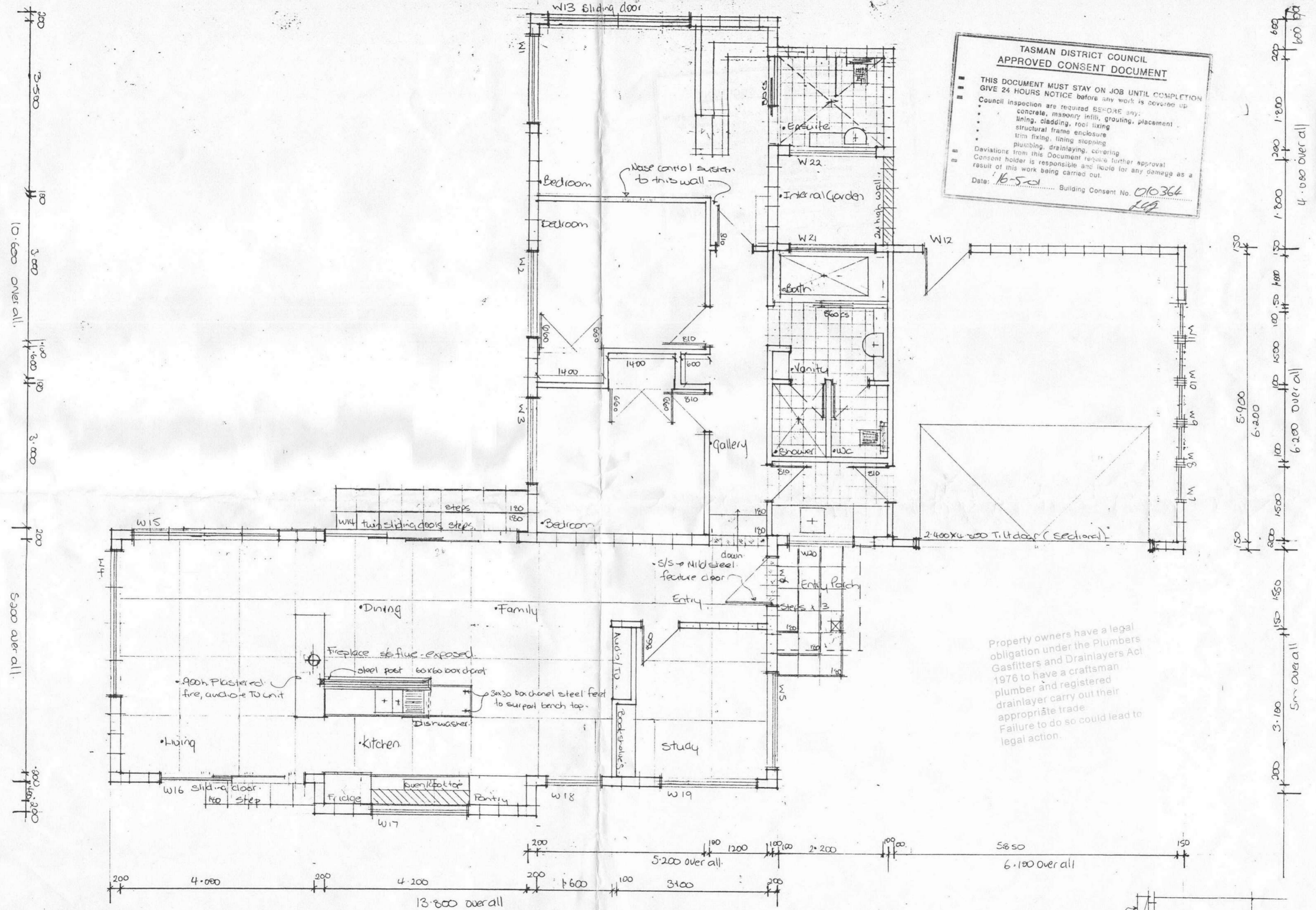
THIS DOCUMENT MUST STAY ON JOB UNTIL COMPLETION
GIVE 24 HOURS NOTICE before any work is covered up

Council inspection are required BEFORE any:

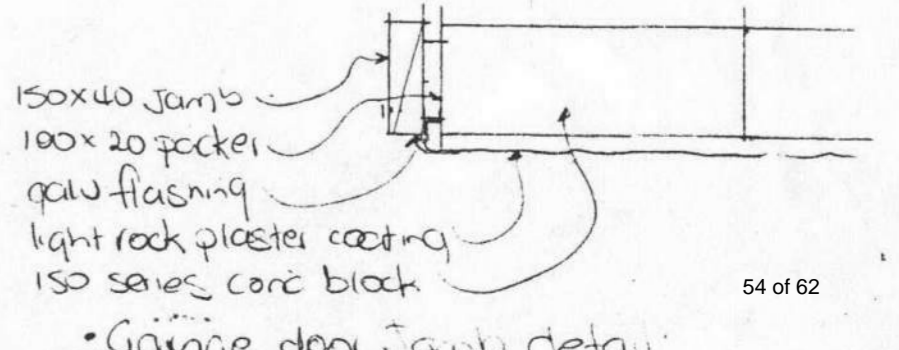
- concrete, masonry infill, grouting, placement
- lining, cladding, roof fixing
- structural frame enclosure
- trim fixing, lining stopping
- plumbing, drainlaying, covering

Deviations from this Document require further approval
Consent holder is responsible and liable for any damage as a result of this work being carried out.

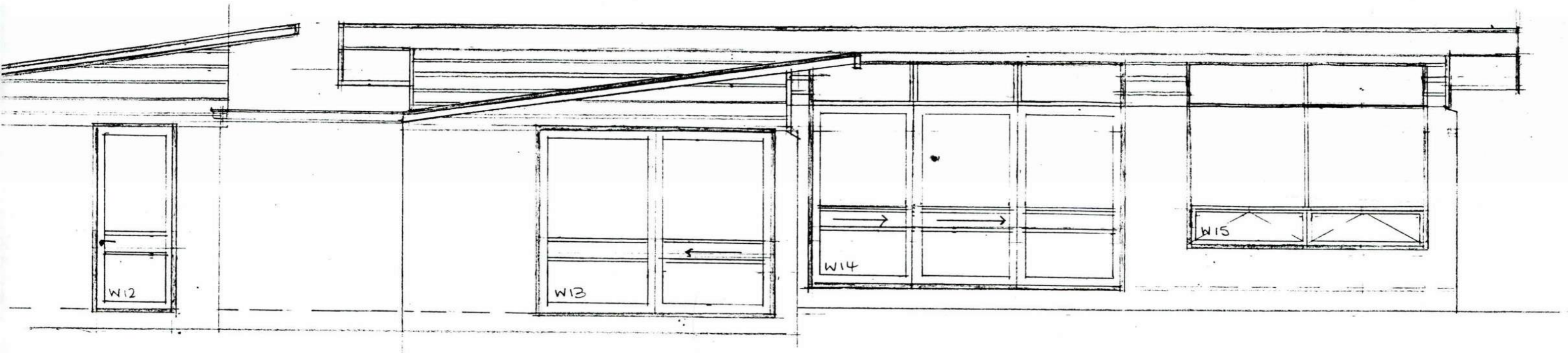
Date: 16-5-01 Building Consent No. 010364
LSP



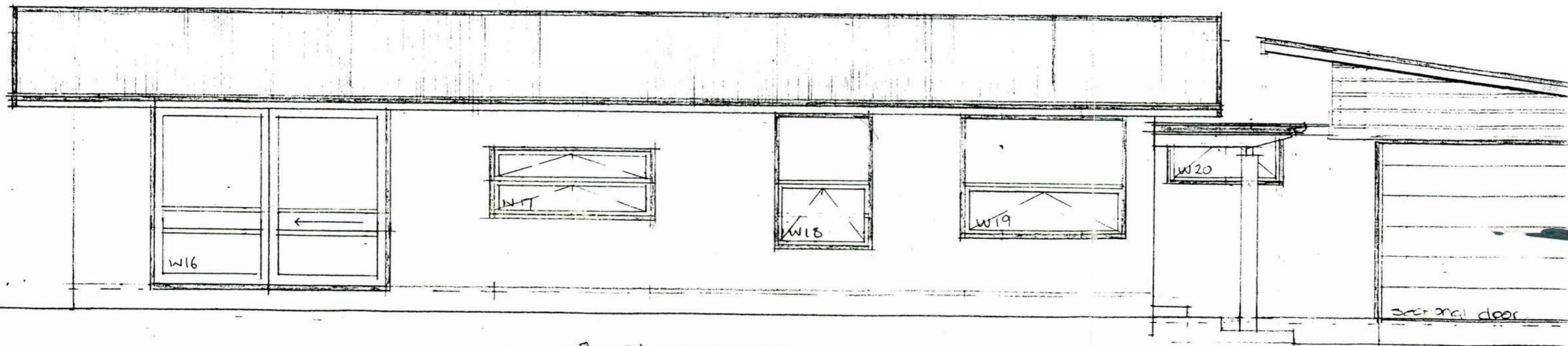
Property owners have a legal obligation under the Plumbers Gasfitters and Drainlayers Act 1976 to have a craftsman plumber and registered drainlayer carry out their appropriate trade. Failure to do so could lead to legal action.



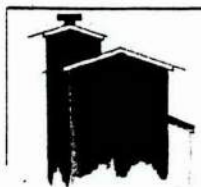
<p>DMD THE BUILDING & DESIGN COMPANY LTD Builders of Pleasantly Different Homes PO Box 45 Brightwater Nelson Phone 035419286</p>	<p>Moeters House Lobank Farm Lot 8 Hull Street Richmond Tasman District</p>	<p>DATE: 16-03-01 SHEET NAME: DMD STATUS: Consent</p>	<p>Floor plan Window schedule garage door jamb detail Scale 1:50</p>	<p>PAGE 4 OF 7</p>
--	---	---	--	--------------------------------



• NORTH ELEVATIONS



• SOUTH ELEVATIONS



DMD THE BUILDING & DESIGN COMPANY LTD
 Builders of Pleasantly Different Homes
 PO Box 45 Brightwater Nelson
 Phone 035419286
 COPYRIGHT

Masters House
 1obank farm lot 8
 Hill street
 Richmond
 Tasman District

DATE:
 16-03-01
 SHEET NAME:
 DMMAN ✓
 STATUS:
 Consent

Elevations
 Window schedule
 Scale 1:50

PAGE
 2
 OF
 7

TASMAN DISTRICT COUNCIL
APPROVED CONSENT DOCUMENT

THIS DOCUMENT MUST STAY ON JOB UNTIL COMPLETION
GIVE 24 HOURS NOTICE before any work is covered up

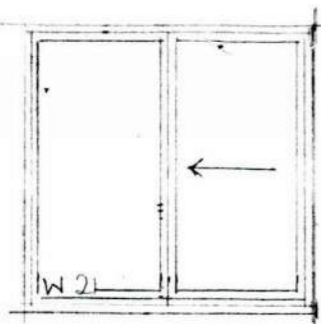
- Council inspection are required BEFORE any:
- concrete, masonry infill, grouting, placement
 - lining, cladding, roof fixing
 - structural frame enclosure
 - trim fixing, lining stopping
 - plumbing, drainlaying, covering

Deviations from this Document require further approval
Consent holder is responsible and liable for any damage as a
result of this work being carried out.

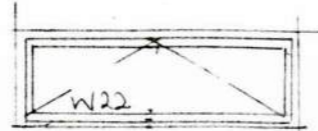
Date: 16-5-01 Building Consent No. 010366
LCC

Property owners have a legal
obligation under the Plumbers
Gasfitters and Drainlayers Act
1976 to have a craftsman
plumber and registered
drainlayer carry out their
appropriate trade
Failure to do so could lead to
legal action.

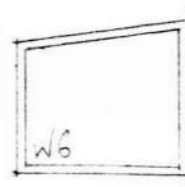
COPY



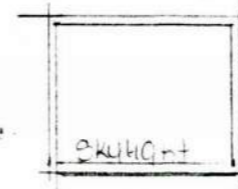
Bathroom



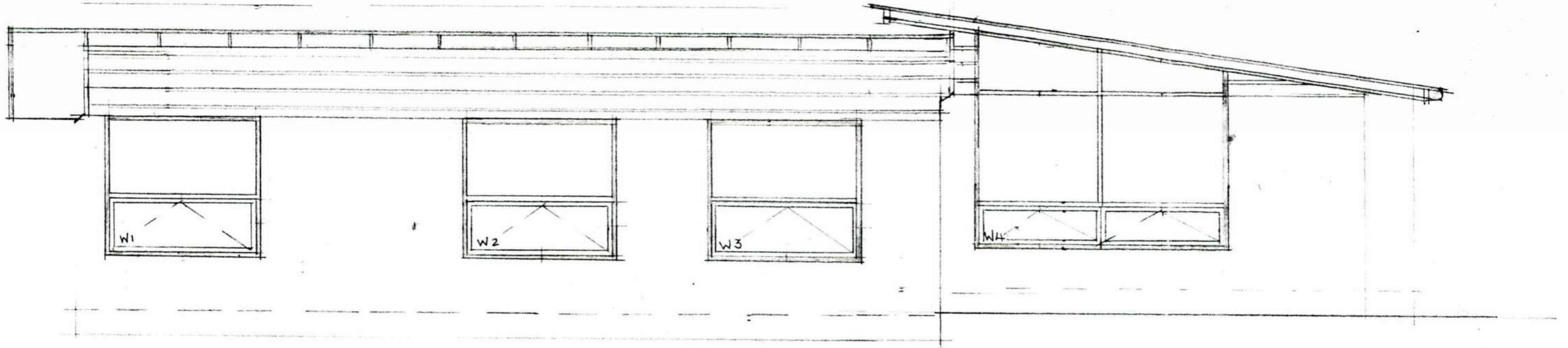
Ensuite



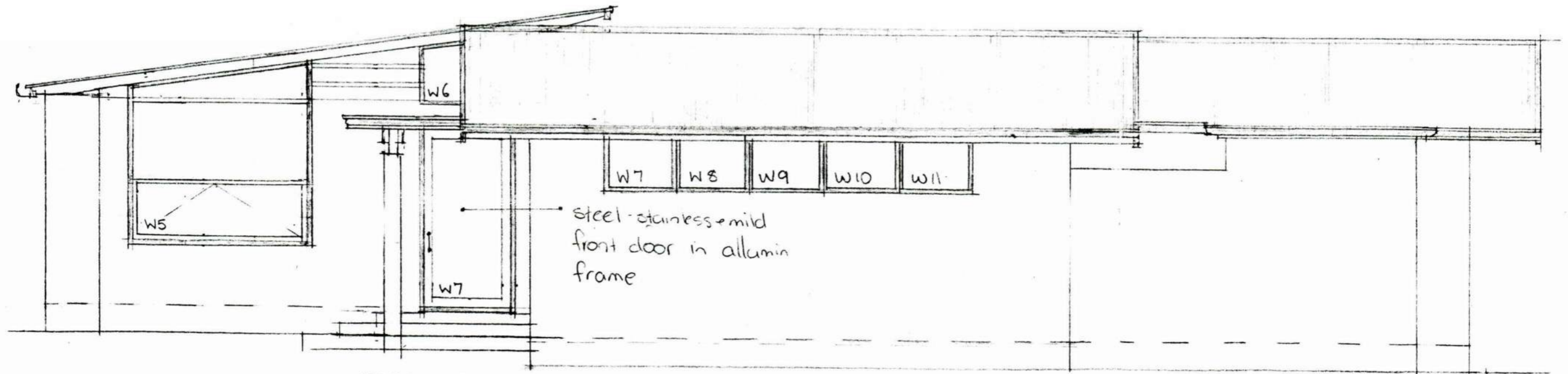
Entry



Vanity



• WEST ELEVATION



• EAST ELEVATION



DMD THE BUILDING & DESIGN COMPANY LTD
 Builders of Pleasantly Different Homes
 PO Box 45 Brightwater Nelson
 Phone 035419286

COPYRIGHT

Masters House
 Lokank Farm Lot 8
 Hill Street Richmond
 Tasman District

DATE: 16.03.01
 SHEET NAME: Elevations
 D.M.A.N.V.
 STATUS: Consent

Elevations

scale 1:50

PAGE

3
 OF
 7

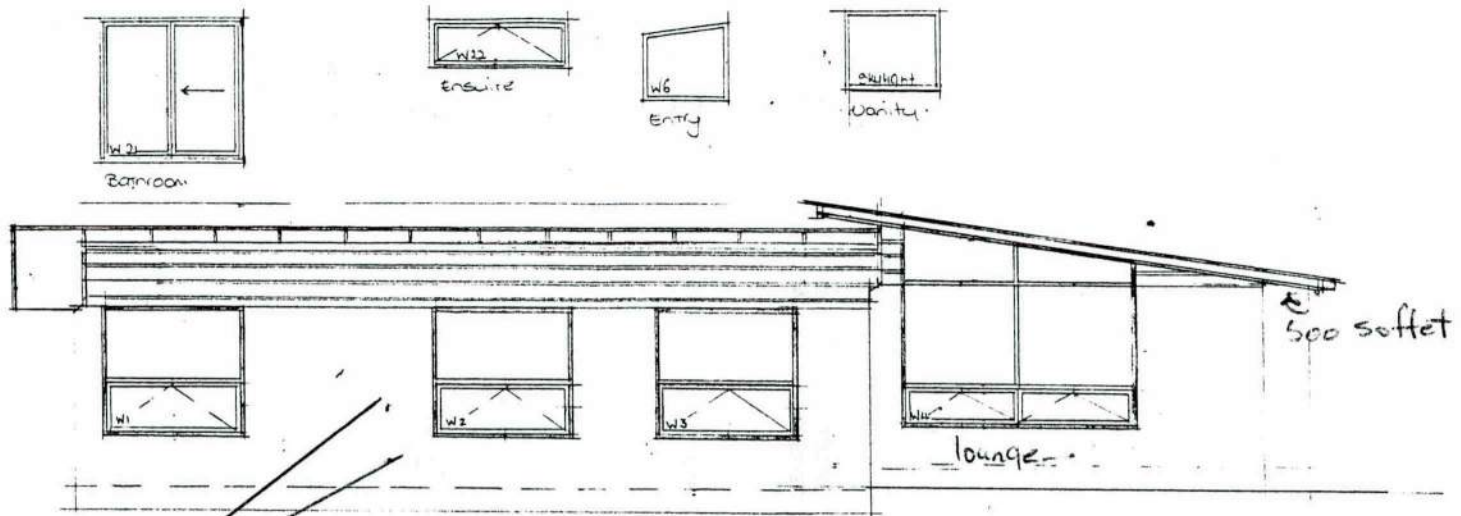
TASMAN DISTRICT COUNCIL
APPROVED CONSENT DOCUMENT

- THIS DOCUMENT MUST STAY ON JOB UNTIL COMPLETION
- GIVE 24 HOURS NOTICE before any work is covered up
- Council inspection are required BEFORE any:
 - concrete, masonry infill, grouting, placement
 - lining, cladding, roof fixing
 - structural frame enclosure
 - trim fixing, lining, sloping
 - plumbing, drainlaying, covering
- Deviations from this Document require further approval
- Consent holder is responsible and liable for any damage as a result of this work being carried out.

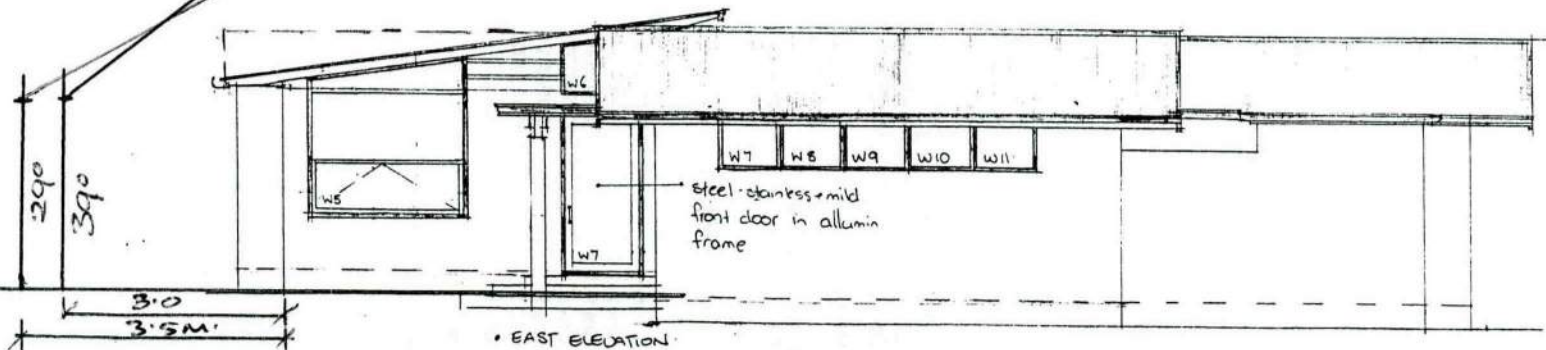
Date: 16-5-01 Building Consent No. 010364
2009

Property owners have a legal obligation under the Plumbers Gasfitters and Drainlayers Act 1976 to have a craftsman plumber and registered drainlayer carry out their appropriate trade. Failure to do so could lead to legal action.

COPY



WEST ELEVATION



EAST ELEVATION



DMD THE BUILDING & DESIGN COMPANY LTD
 Builders of Pleasantly Different Homes
 PO Box 45 Brackwater Nelson
 Phone 025419286
 COPYRIGHT

Masters House
 Lokank Farm lot B
 Hill street Richmond
 Tasman District

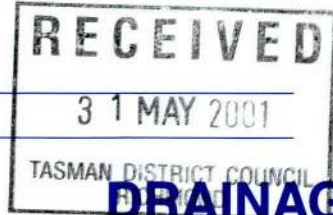
DATE:
 16.03.01
 SHEET NAME:
 ELEVATIONS
 DRAWN:
 S.M.S.
 CONSULT

Elevations

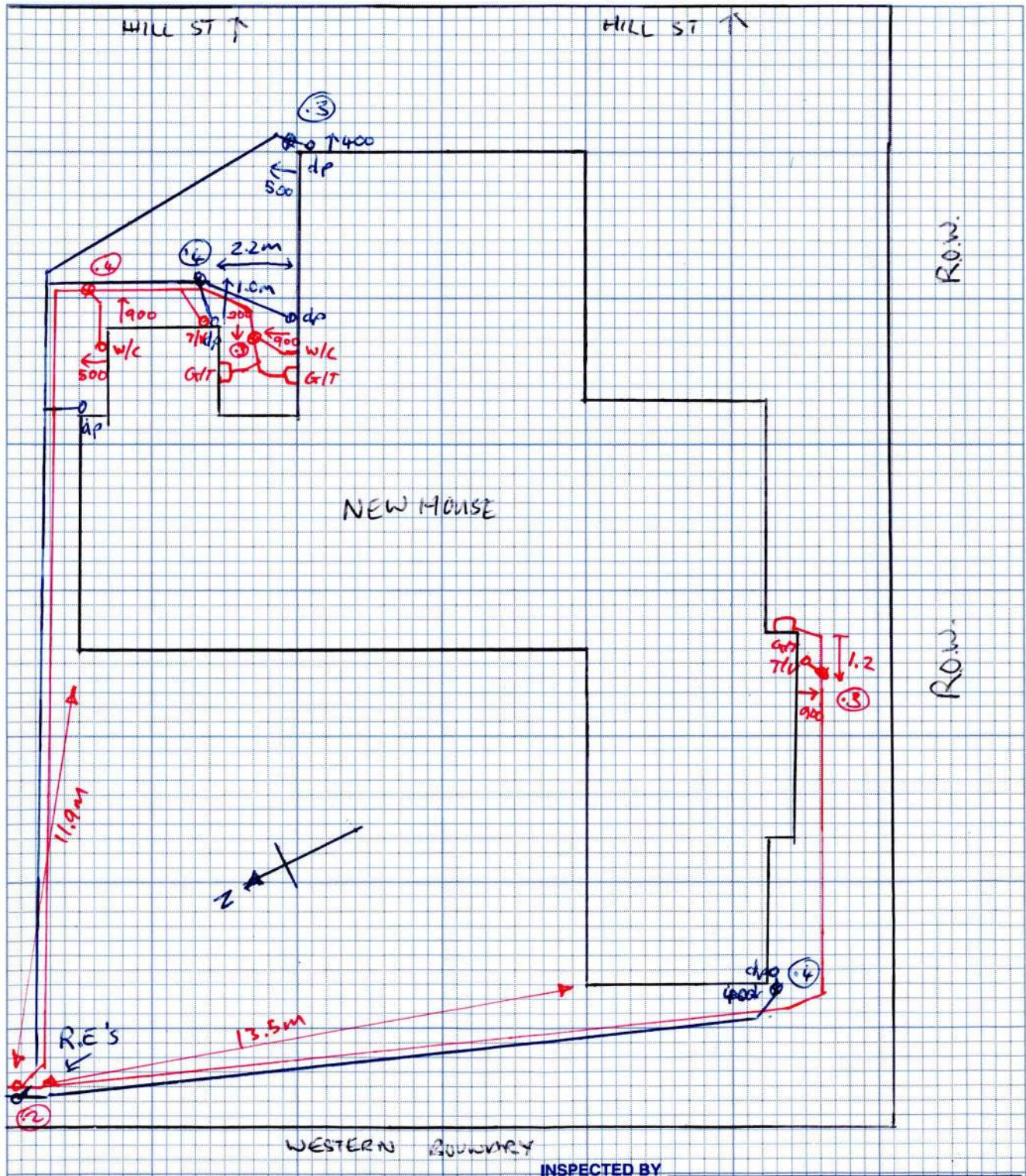
 scale 1:50

PAGE
 1
 OF
 7

DRAINLAYING FIRM KYLE WHITING DRAINLAYING BUILDING CONSENT No. _____
 PROPERTY OWNER DARYL MANLEY LOCATION/STREET HILL ST LOTS LOGANVILLE ESTATE
 DATE 26/5/01 TOWNSHIP RICHMOND



DRAINAGE PLAN



INSTALLED TO BUILDING CODE.
 SIGNED BY REGISTERED DRAINLAYER *[Signature]*

INSPECTED BY _____

Flooding Assessment

Valuation Number:

1961025908

FILE

Inspector

BEN / SIMON

Date of Inspection

23-04-13

Areas Inspected

Exterior Only

Authority

TASMAN DISTRICT COUNCIL

Time AM/PM

10:00am

Exterior and Interior



Building / Owner Name:

MONICA HAILES' PAKU - RENTED

Site Address:

110 HILL STREET

Postal Address:

RICHMOND

Phone / Cell Numbers:

544 5995 027 2027 535

Water height inside building

Note: All wall linings should be removed to 300mm above highest flood height so debris & silt can be cleaned from cavities, & framing exposed to the air for drying before relining & decorating.

Note that if flood waters have inundated:

- food in fridges/freezers, the food is deemed to be spoiled and should be discarded.
- electrical mechanics of white ware, the white ware is deemed to be electrically dangerous and should be discarded.

STRUCTURAL DAMAGE - INUNDATION

- Piles & Foundations
- Baseboards
- Claddings
- Subfloor foil
- Disturbed or slumped ground to compromise foundations
- Other N/A

WATER SUPPLY

- Public Supply
 - Roof collection
 - Bore N/A
 - Other _____
 - Tank storage ABOVE ground
 - Tank storage BELOW ground
- Remedial work required to ensure water supply is still potable: _____

PLUMBING AND DRAINAGE

- Gully traps blocked?
- Sewerage nuisance?
- Plumbing operational?
- Obvious damage to system/septic tank?
- Other S/W TRUN OFF FROM THE ROAD + HILL BEHIND

OUTBUILDINGS

Comments / Remedial Action _____

Note: Water supply bores that do not have a sealed cap to prevent flood waters directly contaminating the bore water, will need to be flushed out and retested (usually by EHO) for potability

Note: All septic tanks that were covered with flood waters will require pumping out. Silt infiltration may create displacement in the tank, which may cause solids to float, and block soakage pits or soakage systems.

Placards for assessed building: Choose a posting based on the evaluation and team judgement.

INSPECTED (Green) G1 G2 RESTRICTED USE (Yellow) Y1 Y2 UNSAFE (Red) R1 R2 R3

Damage	Risk level	Posting	Useability Category	Remarks
Light	Low	INSPECTED	G1	Occupiable, no immediate further investigation required
		INSPECTED	G2	Occupiable, repairs required
Medium	Medium	RESTRICTED USE	Y1	Short term entry
		RESTRICTED USE	Y2	No entry to parts until repaired or demolished
Heavy	High	UNSAFE	R1	Significant damage; repairs, strengthening possible
		UNSAFE	R2	Severe damage; demolition likely
		UNSAFE	R3	At risk from adjacent premises or from ground failure

Yes No IMMEDIATE Re-occupation?

Yes No BRANZ Bulletin "Restoring a House After Flood Damage" information given to occupier

Record any restriction on use or entry:

Signature on Completion

[Signature]



J Truslove
110 Hill Street
Richmond 7020

Tax Invoice/ Credit Note

GST Reg No: 51076806
Invoice Date: 8/04/2025
ACCOUNT NUMBER: 35371
Tax Invoice Number: 211926

Qty	Description	Rate	GST	Amount
	L250307 8/04/25 : J Truslove 1961025908 : 110 Hill Street, Richmond Land Information Memorandum Residential		45.65	350.00

Subtotal			304.35
GST			45.65
Total Amount		PAID	\$350.00
Less Credit			350.00CR
Net Due			\$0.00

Invoices are due 20th of month following invoice date

Please help the environment.

Send your email address to debtors@tasman.govt.nz to receive your invoices by email.

Tasman District Council Email debtors@tasman.govt.nz Website www.tasman.govt.nz

Richmond	189 Queen Street, Private Bag 4, Richmond, Nelson 7050 New Zealand	Phone 03 543 8400	Fax 03 543 9524
Murchison	92 Fairfax Street, Murchison 7007, New Zealand	Phone 03 523 1013	Fax 03 523 1012
Motueka	7 Hickmott Place, PO Box 123, Motueka 7143, New Zealand	Phone 03 528 2022	Fax 03 528 9751
Takaka	78 Commercial Street, PO Box 74, Takaka 7142, New Zealand	Phone 03 525 0020	Fax 03 525 9972

Account Name:	J Truslove	Account Number:	35371
Tax Invoice:	211926	Total Due (Inc GST):	\$0.00
Invoice Date:	8/04/2025	Amount Paid:	\$ _____

Telephone/Internet Banking payments can be made to bank account 12-3193-0002048-03.

Please quote 35371 as reference.