

Healthy Home Standard Report

21 Nov 2023 / 3/63 Norfolk Street,
Ponsonby, Auckland / Ashish Haridas /
HHSR001080

Complete

Work ID#

HHSR001080

Location

3/63 Norfolk Street, Ponsonby,
Auckland



Photo 1

Conducted on

21.11.2023 15:54 NZDT

Prepared by

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Disclaimer

The assessors believe the information contained within this risk assessment report to be correct at the time of printing. The assessors do not accept responsibility for any consequences arising from the use of the information herein. The report is based on matters which were observed or came to the attention of the assessors during the day of the assessment and should not be relied upon as an exhaustive record of all possible risks or hazards that may exist or potential improvements that can be made.

Information on the latest workers compensation and OHS / WHS laws can be found at the relevant State WorkCover / WorkSafe Authority.

Healthy Home Compliance Score

Insulation Standard **Compliant**

Ceiling insulation exempt on property- Another unit upstairs.

Mammoth polyester insulation on underfloor area
R- 2.0

Heating Standard **Compliant**

Ventilation Standard **Compliant**

Moisture Ingress and Drainage Standard **Compliant**

Draught Stopping Standard **Compliant**

Healthy Home Assessment

Insulation Standard

Ceiling Insulation

Is there accessible ceiling cavity?

No

Is the roof structure rafter (skillion) type?

Yes

Please provide photos of the skillion roof.

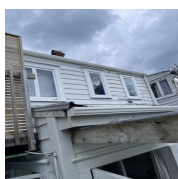


Photo 2

Ceiling Insulation Compliance Result

Is the ceiling insulation compliant with HHS Standard?

Compliant

Underfloor Insulation

Is the underfloor area accessible?

Yes

Is there existing insulation?

Yes

Is the existing insulation foil insulation?

No

Is the existing insulation installed to NZS/4246 standard with thickness greater than 60mm or tagged with R1.3 and above?

Yes

Please provide photo evidence of the compliant underfloor insulation.

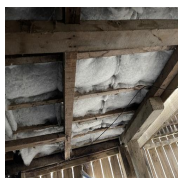


Photo 3



Photo 4



Photo 5

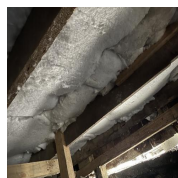


Photo 6

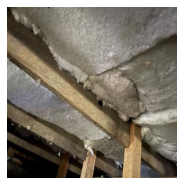


Photo 7



Photo 8

Underfloor Insulation Compliance Result

Is the existing underfloor insulation compliant with HHS? (Concrete slab foundation or underfloor space deemed too narrow by professional installers are compliant by default)

Compliant

Heating Standard (calculate heating requirement for living area, including hall ways and open kitchens)

When was the property built or had major renovation?

1975

What region does the property belongs to?

Auckland

What is the floor size of the living area?

40

Is there existing heating source?

Yes

What are the sources of the heating capacity and it's output.

Panasonic heat pump- 6kW

Provide photo evidence of the heating source.



Photo 9



Photo 10



Photo 11



Photo 12

Heating Standard Compliance Result

How much is the HHS heating requirement in kW for the main living area for this property? (Use the heating calculator tool <https://www.tenancy.govt.nz/heating-tool/>)

6.5

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Is the existing heating capacity compliant for HHS?

Compliant

Existing heat pump achieves at least 80% of the required heating capacity to Heat living area on property. Hence Compliant.

Ventilation Standard

Kitchen & Bathroom Ventilation

Is there a indoor cook-top?

Yes

Is the extraction fan or rangehood installed before or after July 2019?

After

Is there a functional extraction fan or rangehood of exhaust capacity greater than 50 l/s or an exhaust ducting have a diameter of more than 150 mm?

Yes

Please provide photo evidence of the compliant rangehoods.



Photo 13



Photo 14

Is there any bathrooms?

Yes

Is there an extractor fan installed for each bathrooms?

Yes

Is the extractor fan installed prior to July 2019?

After

Do the exhaust ductings have exhaust capacity of at least 25 l/s or a diameter of at least 120 mm that is ducted to outside?

Yes

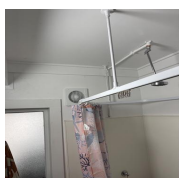


Photo 15



Photo 16



Photo 17

Ventilation Standard Compliance Result

Is the overall existing ventilation capacity compliant for HHS?

Compliant

Openable Windows or External Doors (The total openable area of the qualifying windows or doors (opens to outdoor) in the habitable space must be at least 5% of the floor area of the habitable space.)

Openable Area Compliance Result

Is every openable area in each habitable space compliant with HHS ($\geq 5\%$)?

Compliant

Moisture Ingress and Drainage Standard

Gutters, Down Pipes & Drainage

Is the drainage system in good working order, free of visible blockage or vegetation growth and the securely connected to drains.

Yes

Please provide photo shots of the drainage system, including gutters, down pipes and drain.



Photo 18



Photo 19



Photo 20



Photo 21



Photo 22

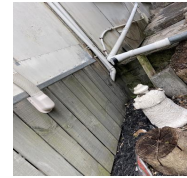


Photo 23



Photo 24

Moisture Ingress and Drainage Standard Compliance Result

Is the drainage system of the property compliant with HHS?

Compliant

Moisture Barrier

Is there accessible underfloor area?

Yes

Is the underfloor space adequately ventilated with no obstructions for more than 50% of its perimeter?

No

Please provide evidence of inadequately ventilated underfloor space.



Photo 25

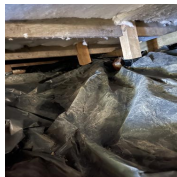


Photo 26



Photo 27



Photo 28

Has moisture barrier been installed with coverage of more than 80% of the underfloor area?

Yes

Has the moisture barrier installed to NZS/4246 standard?

Yes

Moisture Barrier Compliance Result

Is moisture barrier compliant with HHS standard?

Compliant

Draught Stopping Standard

Open Fire Place, Gaps & Holes

Is there a fireplace, or chimney?

Yes

Is the fireplace or chimney closed off or blocked?

Yes

Provide photo evidence of the closed fireplace or blocked chimney.



Photo 29

Is the property free from any unreasonable gaps (more than 3mm) or holes that allows draughts into or out of the premise?

Yes

Please upload photo evidence.



Photo 30



Photo 31



Photo 32



Photo 33

Draught Stopping Standard Compliance Result

Is the draught stopping standard for this property compliant with HHS?

Compliant

Media summary



Photo 1



Photo 2



Photo 3



Photo 4



Photo 5



Photo 6



Photo 7



Photo 8



Photo 9



Photo 10

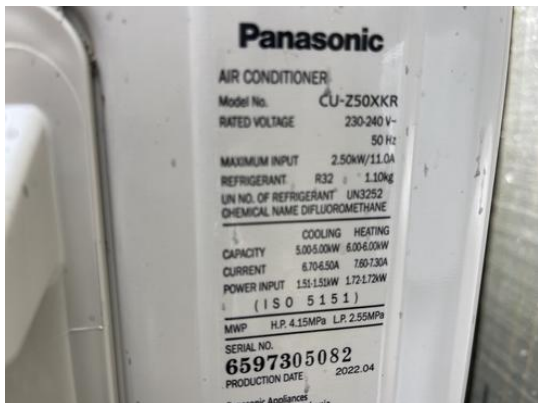


Photo 11



Photo 12



Photo 13



Photo 14



Photo 15



Photo 16



Photo 17

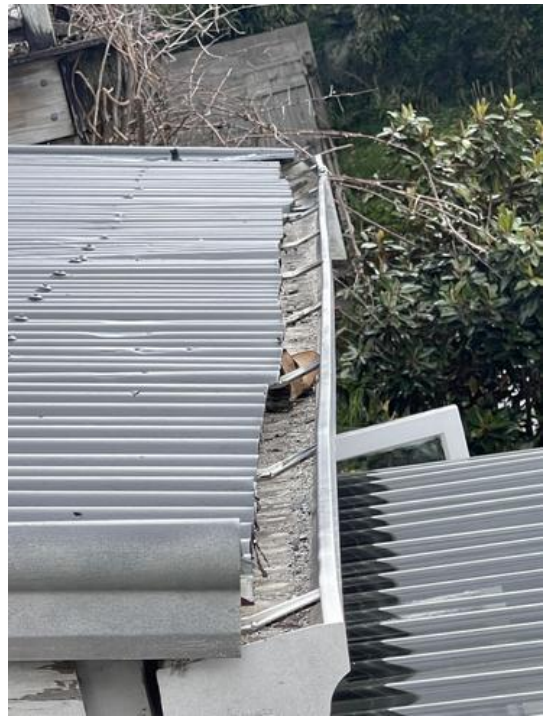


Photo 18



Photo 19



Photo 20



Photo 21



Photo 22



Photo 23



Photo 24



Photo 25



Photo 26



Photo 27



Photo 28



Photo 29



Photo 30



Photo 31



Photo 32



Photo 33

File summary

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